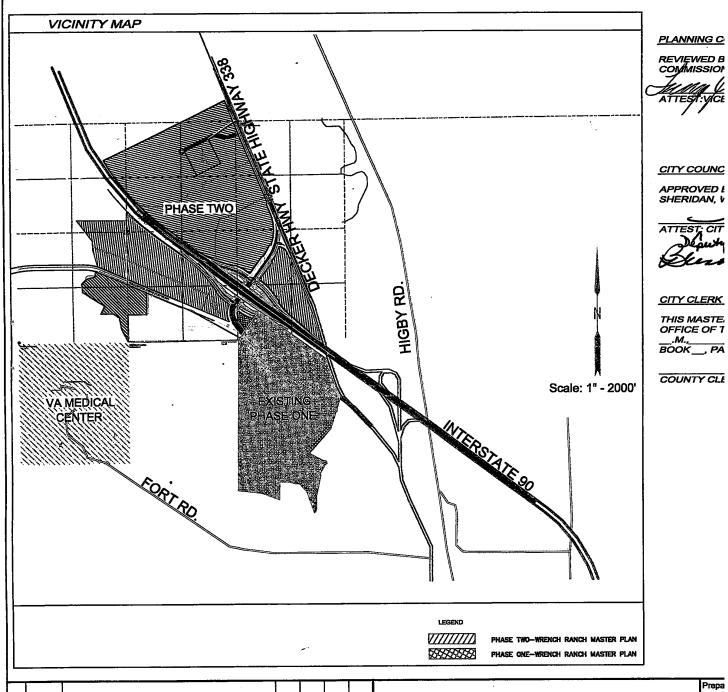
2015-723597 11/30/2015 12:35 PM PAGE:**1** OF **46**BOOK: 556 PAGE: 719 FEES: \$147.00 PK AGREEMENT - LEGAL
EDA SCHUNK THOMPSON, SHERIDAN COUNTY CLERK

WRENCH RANC MASTER PLAN



0 4/15/2015 Issued for client review, estimating, DLH WEP — — — Rev. Data Description By Engl. Client Rev. Respussion

MASTER PLAN
PHASE TWO
WRENCH RANCH PROPERTIES

Client ---



11/30/2015 12:35 PM PAGE:2 BOOK: 556 PAGE: 720 FEES: \$147.00 PK AGREEMENT - LEGAL EDA SCHUNK THOMPSON, SHERIDAN COUNTY CLERK

CH PROPERTIES $\sqrt{}$ PHASE TWO

NED BY THE CITY OF SHERIDAN PLANNING ISSION THIS DAY OF YELLY CHAIRMAN

OUNCIL APPROVAL:

OVED BY THE CITY COUNCIL OF THE CITY OF DAN, WYOMING THIS ZINDAY OF MORI 2015. MAYOR CITY CLERK

LERK CERTIFICATE:

IASTER PLAN WAS FILED FOR RECORD IN THE ■ OF THE CLERK AND RECORDER AT ___ O'CLO _____, AND IS DULY RECORDED IN PAGE NO.

TY CLERK

DIRECTOR OF PUBLIC WORKS APPROVAL:

THIS MASTER PLAN AND PRELIMINARY PLAT HAS BEEN PREPARED IN ACCORDANCE WITH THE REQUIREMENTS AND PROCEDURES OUTLINED IN THE SUBDIVISION REGULATIONS OF THE CITY OF SHERIDAN AND CERTIFIED THIS 10 DAY OF 10 V 2015. BY THE DIRECTOR OF PUBLIC WORKS OF SHERIDAN, WYOMING. 20 DAY OF

DIRECTOR OF PUBLIC WORKS

PLANNING DIRECTOR APPROVAL:

THIS MASTER PLAN AND PRELIMINARY PLAT HAS BEEN PREPARED IN ACCORDANCE WITH THE GATEWAY DISTRICT ZONING REQUIREMENTS OF THE CITY OF SHERIDAN AND CERTIFIED THIS 20 DAY OF 30 15.
BY THE DIRECTOR OF THE PLANNING DEPARTMENT OF SHERIDAN, WYOMING.

DIRECTOR OF PLANNING DEPARTMENT

SURVEYOR'S CERTIFICATE:

I, WILLIAM E. PUGH, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, LICENSED UNDER THE LAWS OF THE STATE OF WYOMING, THAT THIS PLAT IS A TRUE, CORRECT AND COMPLETE PLAT OF WRENCH RANCH, AS LAID OUT, PLATTED, DEDICATED AND SHOWN HEREON, THAT HIS PLAT WAS MADE FROM AN ACCURATE SURVEY OF SAID PROPERTY CONDUCTED BY ME OR UNDER MY SUPERVISION AND CORRECTLY SHOWS THE LOCATION AND OR UNDER MY SUPERVISION AND CURRECTLY SHOWS THE LUCATION AND DIMENSIONS OF ALL LOTS, EASEMENTS AND STREETS OF SAID SUBDIVISION IN COMPLIANCE WITH CITY OF SHERIDAN REGULATIONS, SOVERNING THE SUBDIVISION OF LAND.

SHEET LIST:

Client

LAND SURVEYOR NO. 100

Ellows T-1 COVER SHEET T-2 LEGAL DESCRIPTIONS OF AREA EC-1 **EXISTING CONDITIONS EXISTING CONDITIONS** EC-2 S-1 **OVERALL SITE PLAN** S-2 **OVERALL SITE PLAN** DP-1 PRELIMINARY DRAINAGE PLAN DP-2 PRELIMINARY DRAINAGE PLAN SP-1 SUBDIVISION PLAT

VS-1 VIEWSHED SCHOOL VS-2 VIEWSHED TRACT TWO

PROPOSED WATER LINE ALIGNMENT U-1 11-2 PROPOSED SANITARY SEWER ALIGNMENT U-3 PROPOSED PATHS AND OPEN SPACE

LU-1 GENERAL PRINCIPLES, GUIDELINES & STANDARDS LU-2 MIXED USE PRINCIPLES, GUIDELINES & STANDARDS LU-3 MIXED USE PRINCIPLES, GUIDELINES & STANDARDS COMMERCIAL PRINCIPLES, GUIDELINES & STANDARDS LU-4 COMMERCIAL PRINCIPLES, GUIDELINES & STANDARDS, LU-5

FUTURE OPEN SPACES/RIGHTS OF WAY GUIDELINES & STANDARDS RESIDENTIAL PRINCIPLES GUIDELINES & STANDARDS LU-6

OPEN SPACE PRINCIPLES, GUIDELINES & STANDARDS L-1 LANDSCAPE PRINCIPLES, GUIDELINES & STANDARDS L-2

STREET SECTION. LANDSCAPE DETAILS L-3

Prepared By:

Client Contact:

WOOD GROUP

Scale:

As Shown

Wood Group PSN - Northern Business Unit 2615 Aviation Drive, Sheridan, WY 82801 (307) 675-6400 www.woodgroup.com

4/15/2015

JOHN E. RICE & SONS, INC DBA WRENCH RANCH 247 DECKER ROAD SHERIDAN, WYOMING 82801

WRENCH RANCH PROPERTIES MASTER PLAN - PHASE TWO **COVER SHEET** SHERIDAN, WYOMING

Prosing

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WRENCH RANCI MASTER PLAN

PARCEL ONE

A TRACT OF LAND LOCATED IN A PART OF THE SOUTHEAST 1/4 SOUTHEAST ½, SECTION 4, TOWNSHIP 56 NORTH, RANGE 84 WEST, 6TH PM, SHERIDAN COUNTY, WYOMING AND THE EAST ½, NORTHWEST ½, THE NORTH ½ SOUTHEAST ½, THE NORTH ½ SOUTHEAST ½, SECTION 9, AND THE WEST 1/2NORTHWEST ½ AND THE NORTHWEST ½ SOUTHWEST 1/4, SECTION 10 TOWNSHIP 56 NORTH, RANGE 84 WEST, 6TH PM, SHERIDAN COUNTY, WYOMING and more particularly described as follows:

BEGINNING at A point Which Is Located North 28°02'58" West, 572.32 Feet From The Northeast Corner Of Said Section 9 Said Point Being On The West Right Of Way Of State Highway 338, AKA Decker Road;

Thence With Said West Right Of Way South 22°22'09" East, A Distance Of 2693.26 Feet To A Point;

Thence Continuing With Said Right Of Way South 22°37'52" West, A Distance Of 49.50 Feet To A Point:

Thence Continuing With Said Right Of Way South 22°22'09" East, A Distance Of 212.69
Feet To The P.C. Of A Curve Turning To The Right With An Arc Length Of 799.05 Feet,
A Radius Of 1125.00 Feet, A Chord Bearing Of South 02°01'17" East,

A Chord Length Of 782.36 Feet; Thence Continuing With Said Right Of Way South 63°55'24" West, A Distance Of 64.30 Feet To A Point:

Thence With A Non-tangent Curve Turning To The Right With An Arc Length Of 293.30 Feet, A Radius Of 1080.00 Feet, A Chord Bearing Of South 28°29'38" West, A Chord Length Of 292.40 Feet,;

Thence South 81°16'27" West, A Distance Of 28.28 Feet To A Point;

Thence South 36°16'26" West, A Distance Of 504.49 Feet To A Point On The East Right Of Way Of Interstate 90;

Thence With Said East Right Of Way North 53*43*32* West, A Distance Of 74.50 Feet To The P.C. Of A Curve Turning To The Left With An Arc Length Of 338.03 Feet, A Radius Of 1130.00 Feet, A Chord Bearing Of North 62*17*44* West, A Chord Length Of 336.77 Feet:

Thence Continuing With Said Right Of Way South 62°59'37" West, A Distance Of 42.14 Feet To A Point:

Thence Continuing With Said Right Of Way North 72°23'12" West, A Distance Of 317.23 Feet To The P.C. Of A Curve Turning To The Right With An Arc Length Of 781.66 Feet, A Radius Of 2400.00 Feet, A Chord Bearing Of North 63°03'23" West,

A Chord Length Of 778.21 Feet;
Thence Continuing With Sald Right Of Way North 53°11'26" West, A Distance Of 882.95
Feet To A Point:

Thence With A Non-tangent Curve Turning To The Right With An Arc Length Of 2178.25 Feet, A Radius Of 5537.50 Feet, A Chord Bearing Of North 41°54′52″ West, A Chord Length Of2164.23 Feet;

Thence Continuing With Said Right Of Way North 63°59'15" East, A Distance Of 3286.71
Feet To The Point Of BEGINNING, Having An Area Of 220.23 Acres more or less.

PARCEL TWO

A TRACT OF LAND LOCATED IN A PART OF THE SOUTHWEST 1/4, SECTION 10, AND THE NORTHEAST 1/4 NORTHWEST 1/4, SECTION 15, TOWNSHIP 56 NORTH, RANGE 84 WEST, 6TH PM, SHERIDAN COUNTY, WYOMING and more particularly described as follows:

BEGINNING at A point Which Is Located North 89°59'40" East, 1987.81 Feet From The Southwest Corner Of Said Section 10 Said Point Being On The East Right Of Way Of Interstate 90;

Thence With Said East Right Of Way North 53°43'27" West, A Distance Of 205.76

Thence Continuing With Said Right Of Way North 48°43'33" West, A Distance Of 667.24 Feet To The P.C. Of A Curve Turning To The Right With An Arc Length Of 486.35 Feet, A Radius Of 2395.00 Feet, A Chord Bearing Of North 42°54'30" West, A Chord Length Of 485.51 Feet;

Thence Continuing With Said Right Of Way North 06°38'53" East, A Distance Of 50.62 Feet To A Point;

Thence Continuing With Said Right Of Way North 37°05'27" West, A Distance Of 286,69 Feet To The P.C. Of A Curve Turning To The Left With An Arc Length Of 330.98 Feet, A Radius Of 1140.00 Feet, A Chord Bearing Of North 45°24'30" West, A Chord Length Of 329.82 Feet:

Thence Continuing With Said Right Of Way North 53°43'33" West, A Distance Of 79.50 Feet To A Point, Being The Intersection Of Said East Right Of Way And The South Right Of Way Of Highway 338 AKA Decker Road;

Thence With Said South Right Of Way North 36°16'27" East, A Distance Of 494.49

Theree Continuing With Said Right Of Way North 08°43'33" West, A Distance Of 28.28 Feet To A Point;

Thence Continuing With Said Right Of Way With A Non-tangent Curve Turning To The Left With An Arc Length Of 423.98 Feet, A Radius Of 1320.00 Feet, A Chord Bearing Of North 27°04'22" East, A Chord Length Of 422.16 Feet;

Thence Continuing With Said Right Of Way South 75"11"30" East, A Distance Of 39.55 Feet To The P.C. Of A Curve Turning To The Right With An Arc Length Of

A Radius Of 230.00 Feet, A Chord Bearing Of South 48°47'44" East, A Chord Length Of 204.50 Feet:

Thence Continuing With Said Right Of Way South 22°23'58" East, A Distance Of 156.75 Feet To A Point:

Thence Continuing With Said Right Of Way North 67°36'02" East, A Distance Of 29.72 Feet To A Point;

Thence Continuing With Said Right Of Way South 22°22'04" East, A Distance Of 1056.26 Feet To A Point;

1056.26 Feet 10 A Point; Thence Continuing With Said Right Of Way South 70°50'04" West, A Distance Of 9.60 Feet To A Print:

9.60 Feet 10 A Point; Thence With A Non-tangent Curve Turning To The Right With An Arc Length Of 738.90 Feet, A Radius Of 5772.47 Feet, A Chord Bearing Of South 18°39'33" East, A Chord Length Of 738.40 Feet; Thence Continuing With Said Right Of Way South 14°56'04" East, A Distance Of 207.87 Feet To A Point;

Thence Continuing With Said Right Of Way South 75°06'59" West, A Distance Of 9.61 Feet To A Point:

Thence Continuing With Said Right Of Way South 14°53'01" East, A Distance Of 122.31 Feet To A Point;

To The Point Of BEGINNING, Having An Area Of 28.74 Acres more or less.

PARCEL THREE
A TRACT OF LAN
SECTION 10, AND
NORTH, RANGE I
more particularly d

BEGINNING

Feet From The So Northeast Right Of Right Of Way Of Y Thence With The I Distance Of 306.7: Thence Continuing A Distance Of 30.1 Thence Continuing Curve Turning To 270.00 Feet, A Ch 176.47 Feet:

Thence Continuing A Distance Of 39.4 338 And Interstate Thence With The ! East, A Distance C With An Arc Lenge Bearing Of South ! Thence Continuing A Distance Of 34.! Thence Continuin East, A Distance C Thence Leaving !

PARCEL FIVE A TRACT OF LAN AND THE EAST 1 RANGE 84 WEST particularly descrit

BEGINNING

Thence North 20°Thence North 50°Thence South 87°Thence South 87°Thence North 57°Thence North 57°Thence North 57°Thence North 47°Thence North 48°Thence North 70°Thence North

A Chord Bearing (Thence Continuing Of 739.68 Feet To Thence Continuing Of 503.72 Feet To Thence Leaving S Point;

Thence WEST A Thence South 00° To The Point Of B

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MASTER PLAN
PHASE TWO
WRENCH RANCH PROPERTIES

Client

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BOOK: 556 PAGE: 722 FEES: \$147.00 PK AGREEMENT - LEGAL EDA SCHUNK THOMPSON, SHERIDAN COUNTY CLERK

CH PROPERTIES ~ PHASE TWO

OF LAND LOCATED IN A PART OF THE SOUTHWEST 1/4, N 10, AND THE SOUTHEAST 1/4, SECTION 9, TOWNSHIP 56 RANGE 84 WEST, 6TH PM, SHERIDAN COUNTY, WYOMING and ticularly described as follows:

:GINNING at A point Which Is Located North 36°16'33" East, 313.43 n The Southwest Corner Of Said Section 10 Said Point Being On The t Right Of Way Of Highway 338 AKA Decker Road And The Northeast Way Of Yellowtail Drive:

With The Right Of Way Of Said Highway 338 North 34°26'49" West, A Of 306.73 Feet To A Point;

Continuing With Sald Highway 338 Right Of Way North 55°33'11" East, se Of 30.00 Feet To A Point;

Continuing With Said Highway 338 Right Of Way With A Non-tangent ming To The Right With An Arc Length Of 179.77 Feet, A Radius Of eet, A Chord Bearing Of North 15°22'22" West, A Chord Length Of

Continuing With Said Highway 338 Right Of Way North 57°22'08" East, se Of 39.44 Feet To A Point Being The Intersection Of Said Highway Interstate 90:

With The Southwest Right Of Way Of Interstate 90 South 53°43'33" listance Of 34.02 Feet To The P.C. Of A Curve Turning To The Left Arc Length Of 336.79 Feet, A Radius Of 1110.00 Feet, A Chord Of South 62°25'05" East, A Chord Length Of 335.50 Feet, Continuing With Said Interstate 90 Right Of Way North 62°36'48" East, se Of 34,97 Feet To A Point;

Continuing With Said Interstate 90 Right Of Way South 72°23'12"

United the second of 23.90 Feet To A Point;
Leaving Said Interstate 90 Right Of Way South 36°16'33" West, A
Of 365.57 Feet To A Point To The Point Of BEGINNING, Having An 1.98 Acres more or less.mm

FIVE

Γ OF LAND LOCATED IN A PART OF WEST 1/2 SOUTHEAST 1/4 E EAST 1/2 SOUTHWEST 1/4 SECTION 9, TOWNSHIP 56 NORTH, 34 WEST, 6TH PM, SHERIDAN COUNTY, WYOMING and more ty described as follows:

EGINNING at A point Which is Located South 89°39'21" West. A Of 2668.42 Feet From The Southeast Corner Of Said Section 9; torth 27°44'49" West, A Distance Of 351.50 Feet To A Point, torth 10°19'59" West, A Distance Of 276.52 Feet To A Point; North 53°53'51" West, A Distance Of 182.52 Feet To A Point; South 87°44'27" West, A Distance Of 303.14 Feet To A Point; vorth 25°40°21" East, A Distance Of 219.12 Feet To A Point; North 57°55'07' West, A Distance Of 636.69 Feet To A Point, North 07°02'39" West, A Distance Of 192.44 Feet To A Point; North 45°05'15" East, A Distance Of 174.26 Feet To A Point; North 76°22'17" East, A Distance Of 216.72 Feet To A Point; North 00°16'55" West, A Distance Of 137.72 Feet To A Point On The ght Of Way Of Yellowtail Drive; With Said Right Of Way With A Non-tangent Curve

To The Right With An Arc Length Of 112.68 Feet, A Radius Of 940.00 Bearing Of South 70°35'27" East, A Chord Length Of112.61 Feet;

Continuing With Said Right Of Way South 67"09"24" East, A Distance

Continuing With Said Right Of Way South 67°09'04" East, A Distance 2 Feet To A Point: eaving Said Right Of Way SOUTH A Distance Of 532.03 Feet To A

NEST A Distance Of 458.72 Feet To A Point; South 00°25'54" East, A Distance Of 664.95 Feet To A Point; oint Of BEGINNING, Having An Area Of 26.69 Acres more or less.

A TRACT OF LAND LOCATED IN A PART OF SECTION 9, TOWNSHIP 56 NORTH, RANGE 84 WEST, 6TH PM, SHERIDAN COUNTY, WYOMING and more particularly described as follows:

BEGINNING at A point Which Is Located North 23°49'04" West, A Distance Of 507.21 Feet From The Southeast Corner Of Said Section 9, Said Point Being On The North Right Of Way Of Yellowtail Drive;

Thence With Said North Right Of Way North 67°08'13" West, A Distance Of 451.35 Feet To A Point:

Thence Continuing With Said Right Of Way North 67°08'53" West, A Distance Of 2234.50 Feet To A Point;

Thence Continuing With Said Right Of Way North 67°09'24" West, A Distance Of 688.08 Feet To The P.C. Of A Curve Turning To The Left With An Arc Length Of 102.01 Feet, A Radius Of 1060.00 Feet, A Chord Bearing Of North 69°54'49" West, A Chord Length Of 101.97 Feet:

Thence Leaving Said Right Of Way North 16°03'19" West, A Distance Of 433.83 Feet To A Point;

Thence NORTH A Distance Of 205.36 Feet To A Point;

Thence North 37°35°36° West, A Distance Of 633.22 Feet To A Point;
Thence EAST A Distance Of 1225.39 Feet To A Point;
Thence North 00°25′56° West, A Distance Of 227.79 Feet To A Point On The Southwest Right Of Way Of Interstate 90;

Thence With Said Interstate 90 Right Of Way With A Non-tangent Curve Turning To The Left With An Arc Length Of 994.40 Feet, A Radius Of 5854.58 Feet, A Chord Bearing Of South 48°51'58" East, A Chord Length Of 993.20 Feet; There Continuing With Said Interstate 90 Right Of Way South 53°43'44" East, A Distance Of 936.54 Feet To A Point;

Thence Continuing With Said Interstate 90 Right Of Way South 48°43°33" Ea Distance Of 198.87 Feet To The P.C. Of A Curve Turning To The Right With An Arc Length Of 492.44 Feet, A Radius Of 2425.00 Feet, A Chord Bearing Of South 42°54'30" t, A Chard Length Of 491.59 Feet;

Theree Continuing With Said Interstate 90 Right Of Way South 37°05'27" East, A Distance Of 129.58 Feet To A Point;

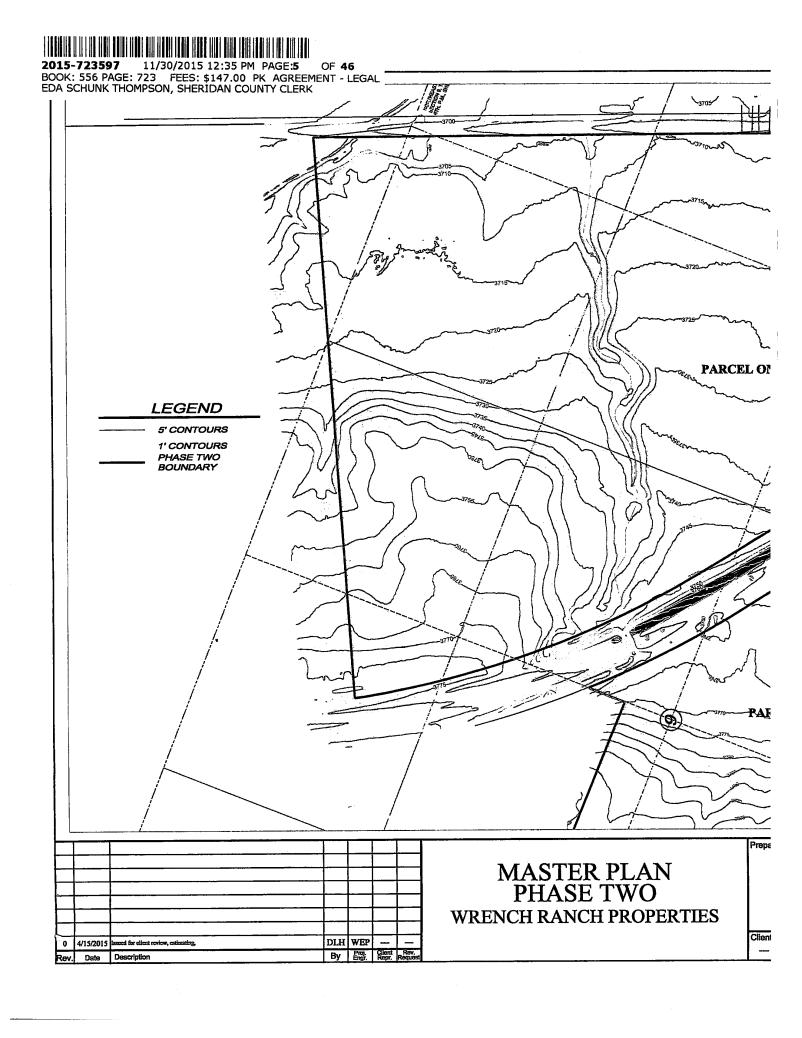
Thence Continuing With Said Interstate 90 Right Of Way South 37°05'27" East, A Distance Of 193.68 Feet To A Point;

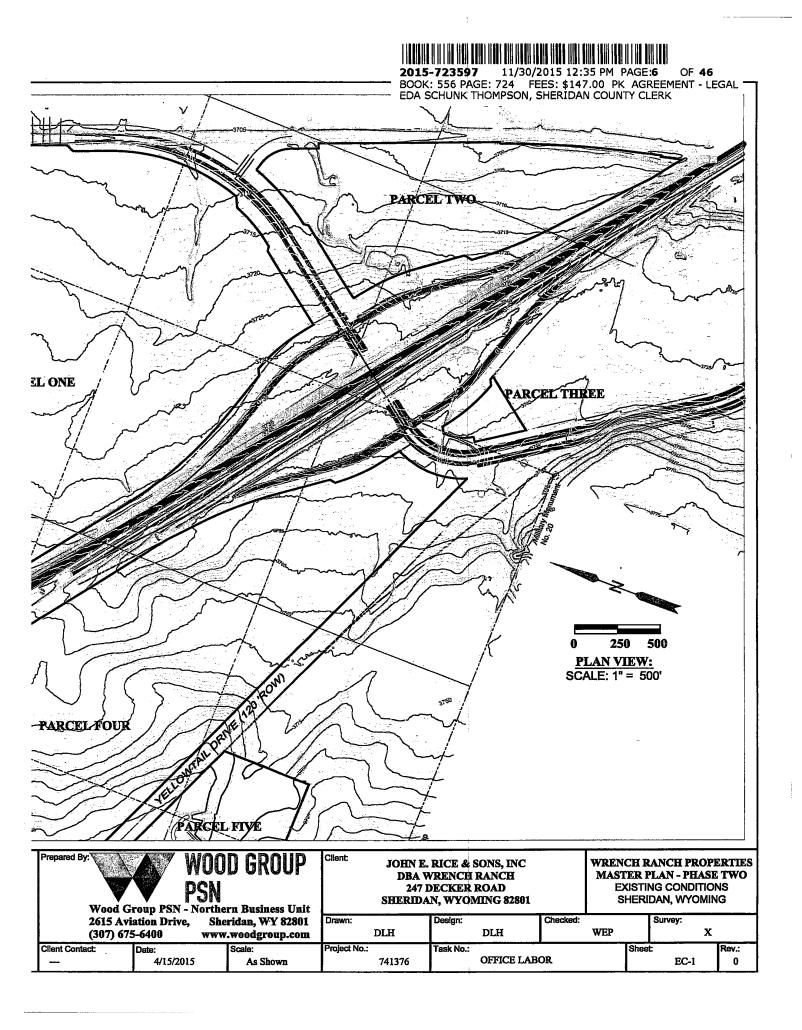
Thence Continuing With Said Interstate 90 Right Of Way South 07°06'37" West, A Distance Of 35.44 Feet To A Point;

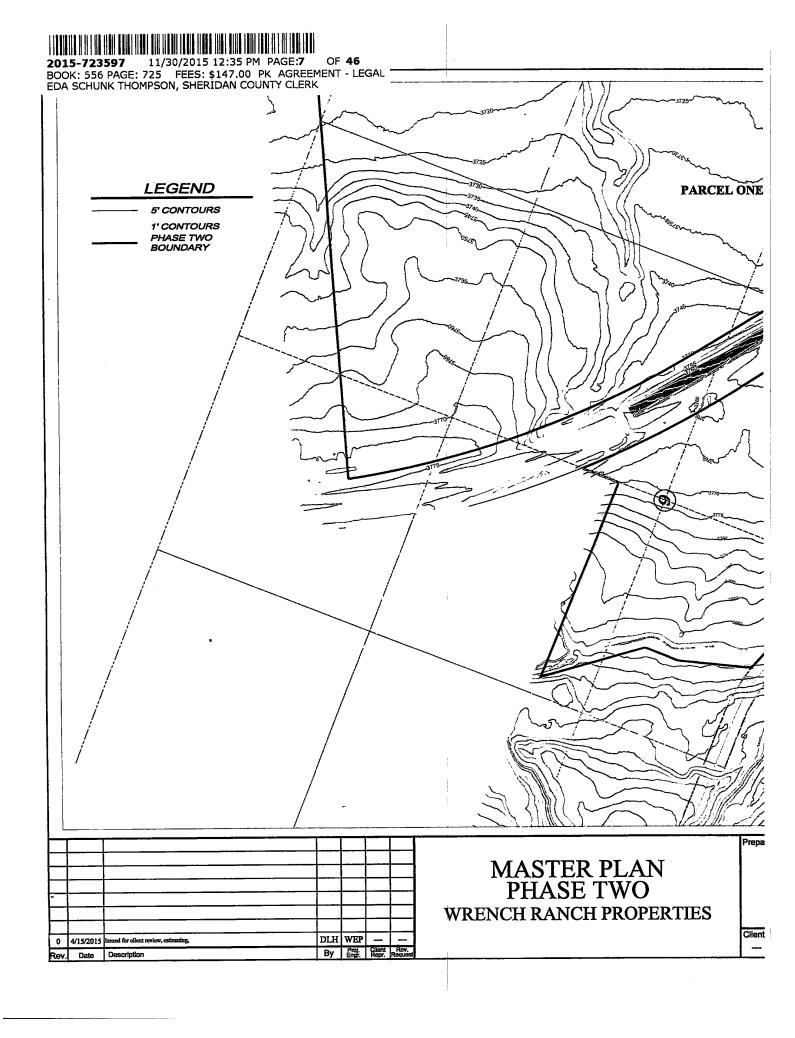
Thence Continuing With Said Interstate 90 Right Of Way With A Non-tangent Curve Turning To The Left With An Arc Length Of 293,96 Feet, A Radius Of 1100.00 Feet, A Chord Bearing Of South 46°04'12" East, A Chord Length 0f293.09 Feet Thence Continuing With Said Interstate 90 Right Of Way South 53°43'33" East, A Distance Of 125.30 Feet To A Point;

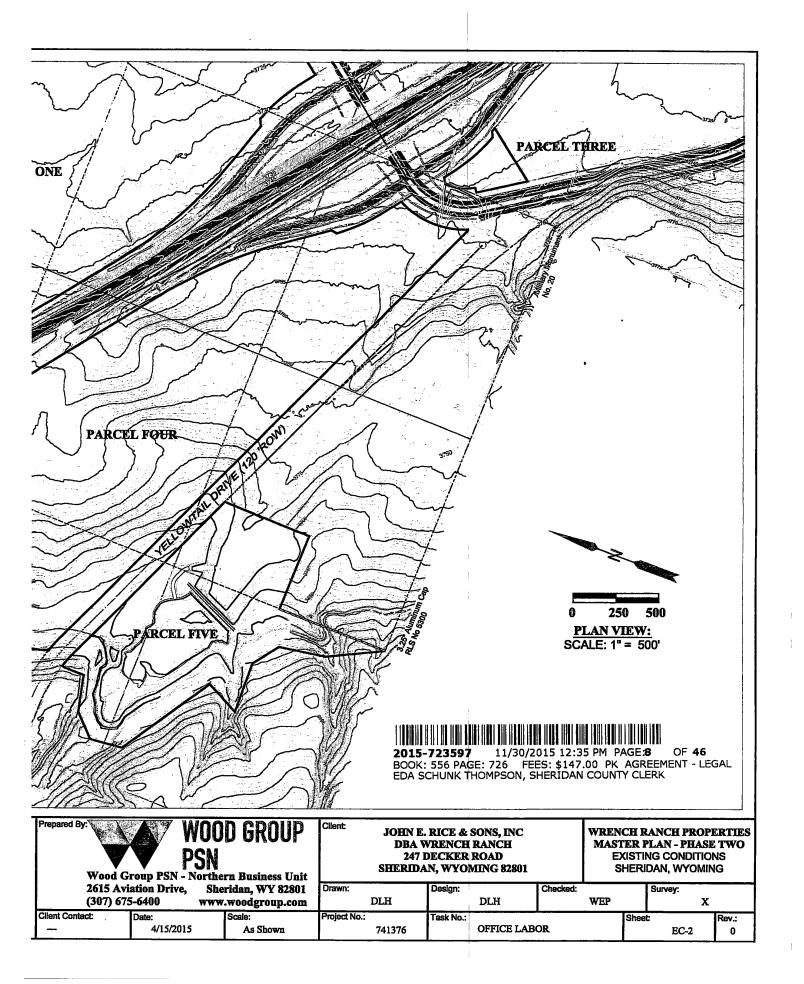
Thence Continuing With Said Interstate 90 Right Of Way With A Non-tangent Curve Turning To The Left With An Arc Length Of 441.57 Feet, A Radius Of 510.00 Feet, A Chord Bearing Of South 00°19'38" West, A Chord Length Of 427.90 Feet To The Point Of BEGINNING, Having An Area Of 88.22 Acres more or less

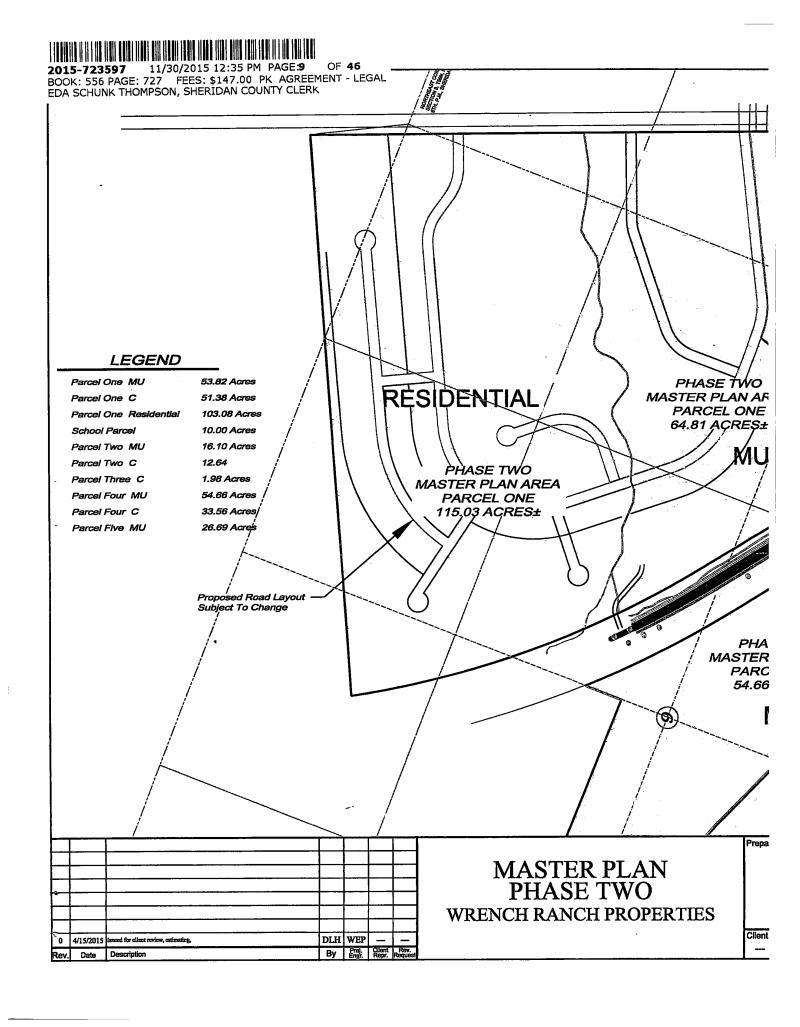
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	2615 Aviation Drive, Sheridan, WY 82801 (307) 675-6400 www.woodgroup.com			Drawn: Design: Checked DLH DLH			Survey:		
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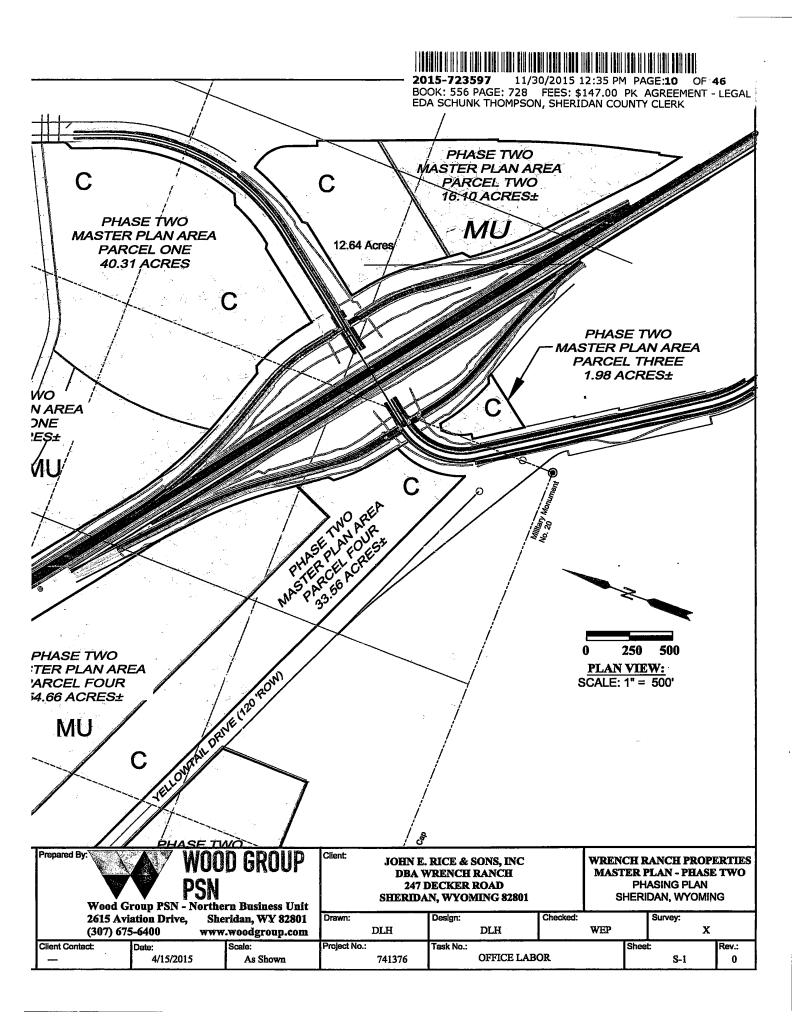


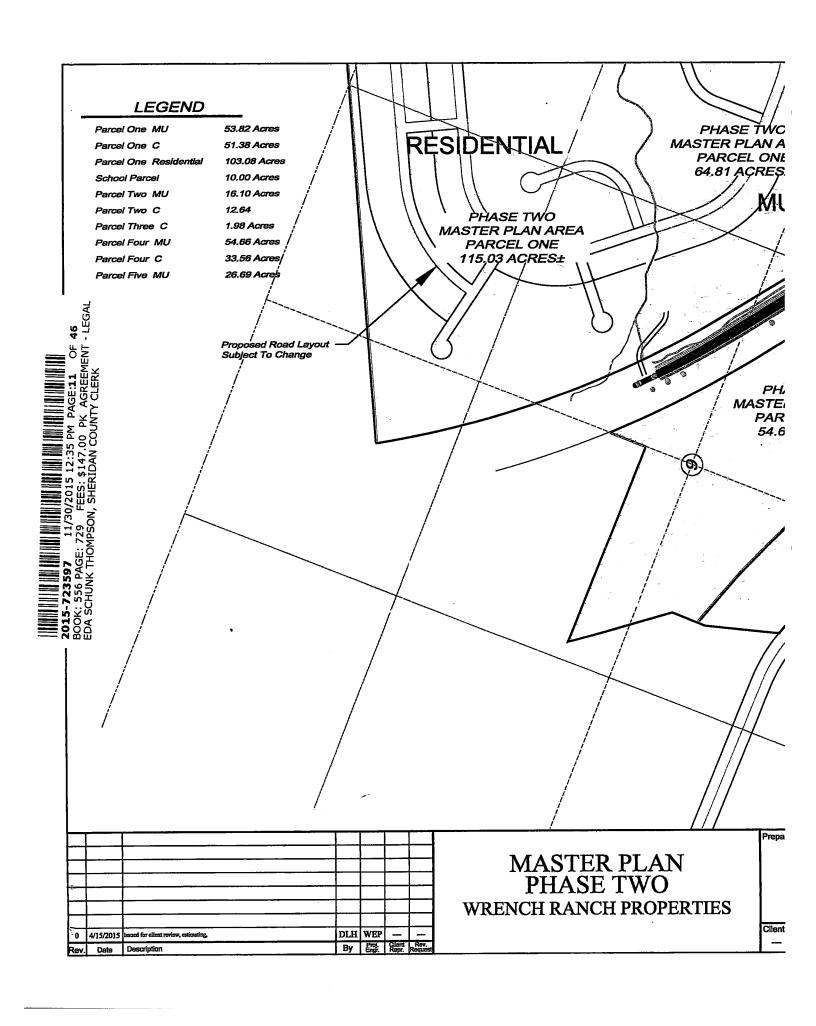


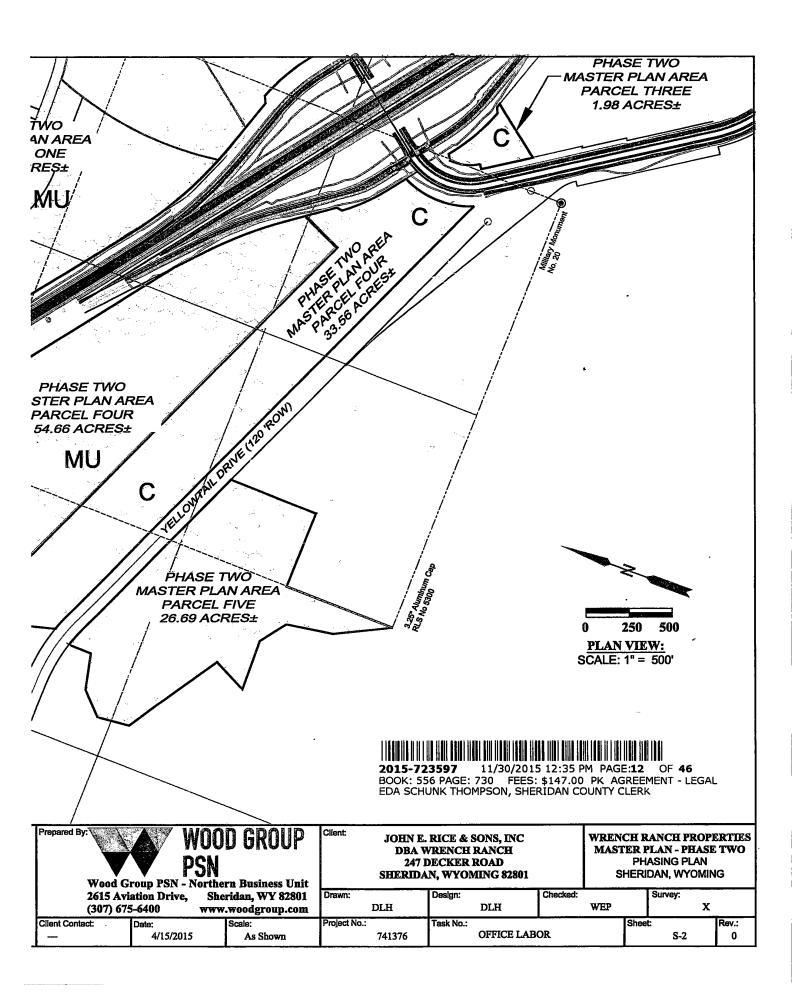




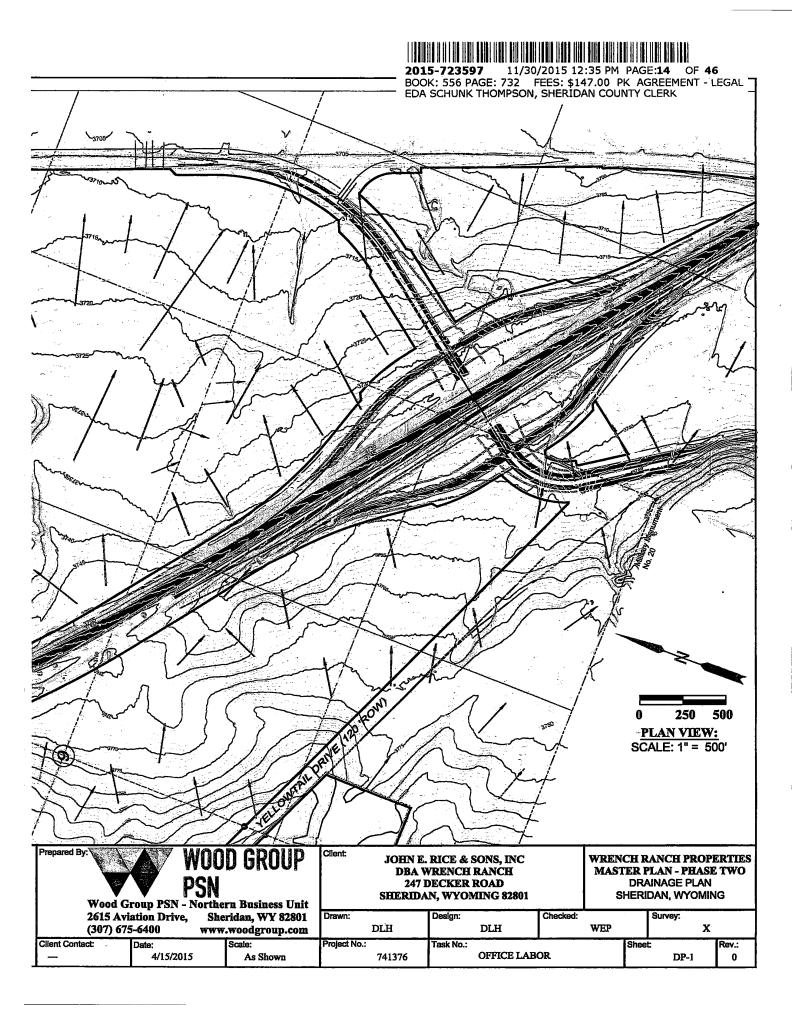




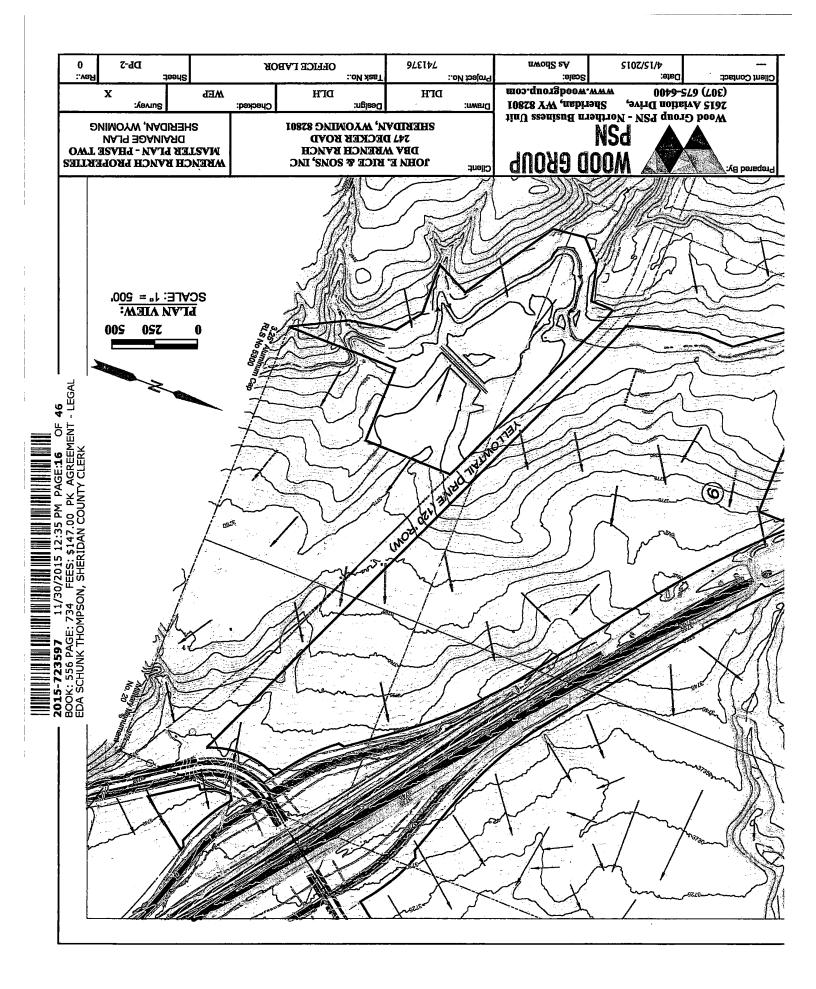


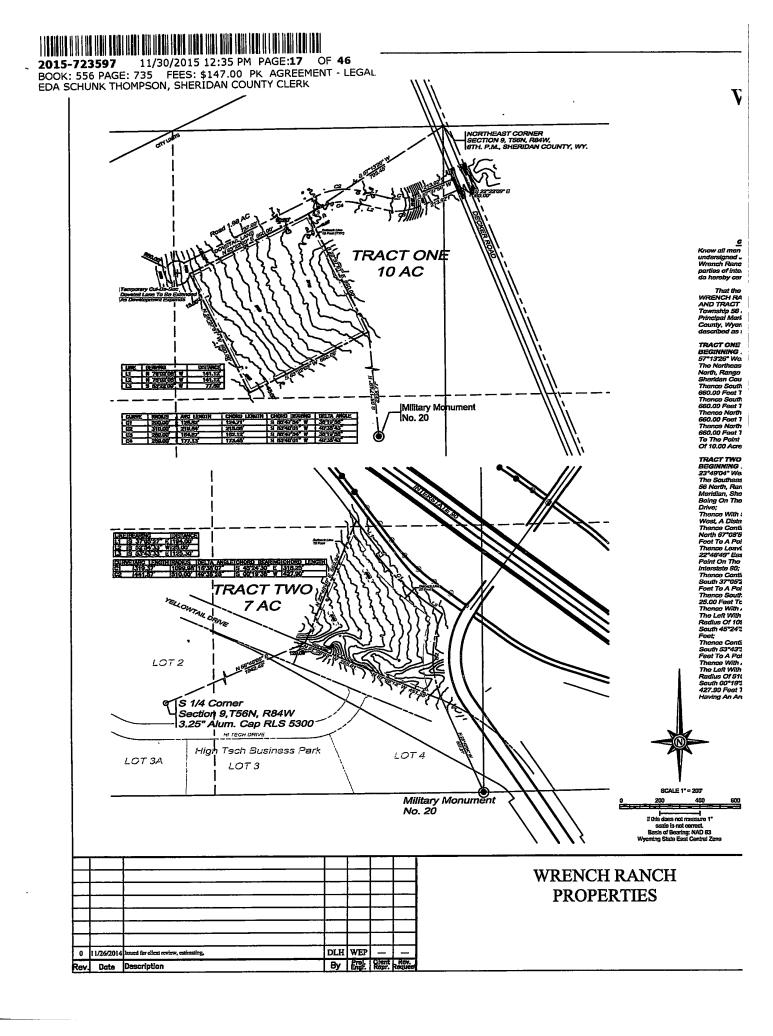


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PRELIMINARY PLAT WRENCH RANCH, PHASE TWO TRACT ONE and TRACT TWO

LOCATED IN A PORTION OF NE1/4NE1/4, and SE1/4SE1/4, SECTION 9, **TOWNSHIP 56 NORTH, RANGE 84 WEST,** 6TH P.M., SHERIDAN WYOMING

CERTIFICATE OF OWNER

nen by these presents that the ed John E. Rice and Sons, Inc. DBA ench Rench, being the owner, proprietor or ties of interest in the land shown on this plat,

That the foregoing plat designated as ENCH RANCH PHASE TWO, TRACT ONE D TRACT TWO, is located in Section y unship 56 North, Range 84 West, 6th clpal Meridan, City of Sheridan, Sheridan inty, Wyorning, and more particularly cribed as follows:

ACT ONE

ACT ONE
SUNNING At A Point Which is Located South
13'26' West, A Distance Of 785.45 Feet From
Northeast Corner Of Sedion 9, Township 56
N, Range 84 West, Sibth Principal Moridian,
vidan County, Wyaming;
vice South 26'37'51' East, A Distance Of
100 Feet To A Point;
vice South 26'22'05' West, A Distance Of
100 Feet To A Point;
vice South 26'22'05' West, A Distance Of
100 Feet To A Point;
vice North 26'375'1' West A Distance Of

1.00 Fast To A Paint; non North 253751" West, A Distance Of 1.00 Fast To A Paint; non North 6372200" East, A Distance Of 1.00 Fast To A Paint; The Paint Of BEGINNING, Having An Area 10.00 Acres more or loss.

ACT TWO SINNING At A Point Which is Located Morth 49'04" West, A Distance Of 507.21 Feet From Southeast Corner Of Section 9, Township North, Range 84 West, Sieth Principal villan, Sheridan County, Wyoming, Said Point 19 On The North Right Of Way Of Yellowtall

is cit. In the Said Right Of Way North Gross's st, A Distance Of 451.35 Feet To A Point; nee Continuing With Said Right Of Way th 67'06'85' West, A Distance Of 286.01 t To A Point; nee Leaving Said Right Of Way North 48'45' East, A Distance Of 660.94 Feet To A st On The South Bound Exit Ramp Of state 90;

nce Continuing With Said Right Of Way th 37°05'27" East, A Distance Of 194,00

o A Point;
so South 52°54'33" West, A Distance Of
Feet To A Point;
so With A Non-tengent Curve Turning To
eff With An Are Length Of319.37 Feet, A
sof 1093.98 Feet, A Chard Bearing Of
45°24'30" East, A Chard Length Of 318.25

. nce Continuing With Said Right Of Way th 53°43'33" East, A Distance Of 125.30

175 A Point 1860, A Visitation of 1863, Si 1860 With A Mon-tangent Curve Turning To Left With An Ara Langth Of 441, 57 Foot, A Vas Of \$10.00 Foot, A Chard Bearing Of the Of 1978* West, A Chard Length Of 30 Foot To The Point Of BEGINNING, ing An Area Of 7,00 Acres mane or less.



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And that this subdivision, as it is described and as it appears on this plot, is made with the free consent and in accordance with the desires of the undersigned owner(s) and proprietor(s); and that this is a correct plat of the area as it is divided into lots, blocks, streets and easements

and That the undersigned owner(s) of the land shown and described on this plat do hereby dedicate to the City of Shoridan and list licensees for public use the indicated purposes, all streets, alloys, easements and other public lands within the boundary lines of this plat, as indicated, and not already otherwise dedicated for public use.

Utility easements, as designated on this plat, are hereby dedicated to the City of Sheridan and its licensees for public use for the purpose of installing, replacing, reinstalling, replacing and maintaining sewer, water lines, gas lines, electric lines, telephane lines, cable TV lines and other forms and types of public utilities now or hereafter generally utilized by the public.

All rites under and by virtue of the homestead exemption laws of the State of Wyoming are hereby waived and released.

Executed	this	day of	 2016 b

STATE OF WYOMING) ss. SHERIDAN COUNTY)

The Faregaing Instrument Was Acknowledged Before Ma On This ____, Day Of _____ 2015, By

Witness My Hand And Official Seal

Notary Public

NOTES

- 1. PRESENT ZONING GATEWAY
- 2. DEVELOPMENT OF THESE TRACTS WILL BE REQUIRED TO COMPLY WITH ALL GATEWAY ZONING REQUIREMENTS.
- PROPOSED USE FOR TRACT ONE IS A NEW SHERIDAN SCHOOL DISTRICT 2 SCHOOL
- 4. PROPOSED USE FOR TRACT TWO IS COMMERCIAL.
- 5. PRESENT FLOOD CLASSIFICATION ZONE X
- 6. ALL PUBLIC UTILITIES WILL BE EXTENDED TO TRACT ONE AND WILL BE MAINTAINED BY THE UTILITY OWNER.
- 7. ALL UTILITIES AND IMPROVEMENTS ARE EXISTING FOR TRACT TWO.
- 8. ALL ROADS AND STREETS ARE OR WILL BE DEDICATED TO PUBLIC USE.





CERTIFICATE OF SURVEY

CHRITICATE OF SURVEY

I, William E. Pugh, do hereby certify that I am a
Registered Land surveyor, licensed under the
laws of the Siste of Wyoming, that this plat is true, correct and complete plat of WREINCH
RANCH PHASE TWO, TRACT ONE AND
TRACT TWO, as laid out, platted, decleted an
shown hereon, that this plat was made from an
accurate survey of self amongsty conducted by shown herean, that this plat was made from an accurate survey of seld property conducted by me or under my supervision and correctly shows the location and dimensions of all lats, assements and streets of seld subdivision in compliance with City of Sheridan regulations governing the subdivision of land.

UNLESS SIGNED, SEALED AND DATED THIS IS A PRELIMINARY PLAT.

Prepared By:

Client Contact:

2615 Aviation Drive,

11/26/2014

Date:

Wood Group PSN - Northern Business Unit (307) 675-6400

Sheridan, WY 82801 www.woodgroup.com Scale:

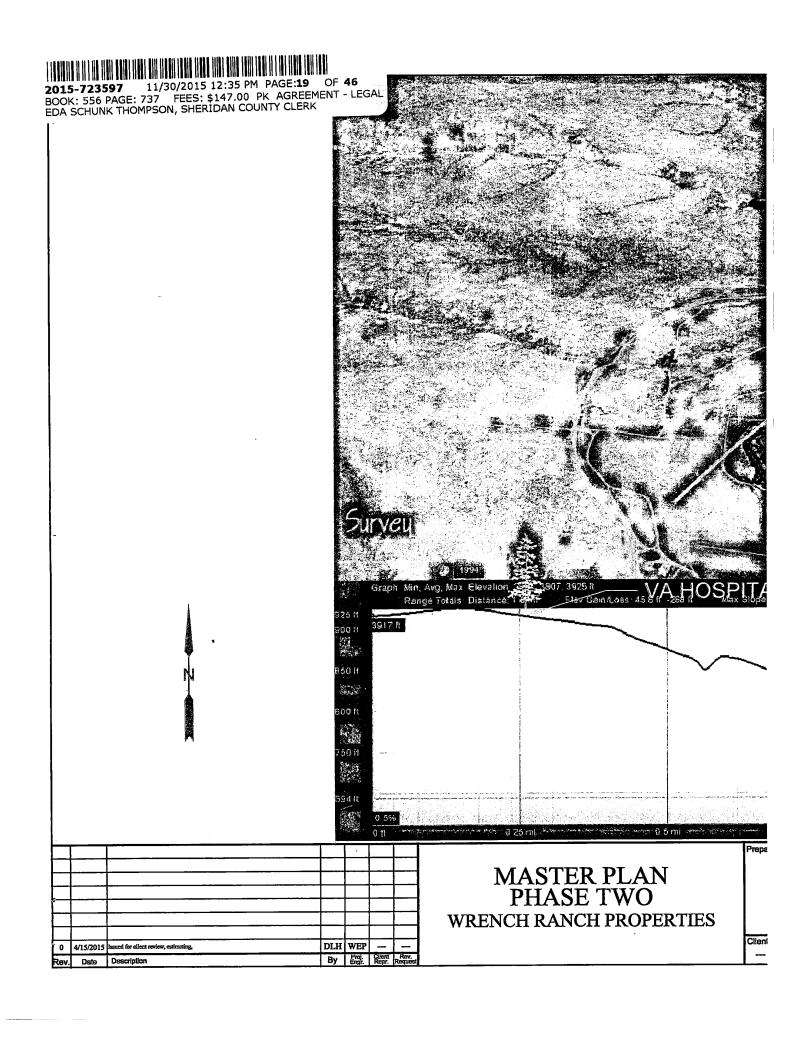
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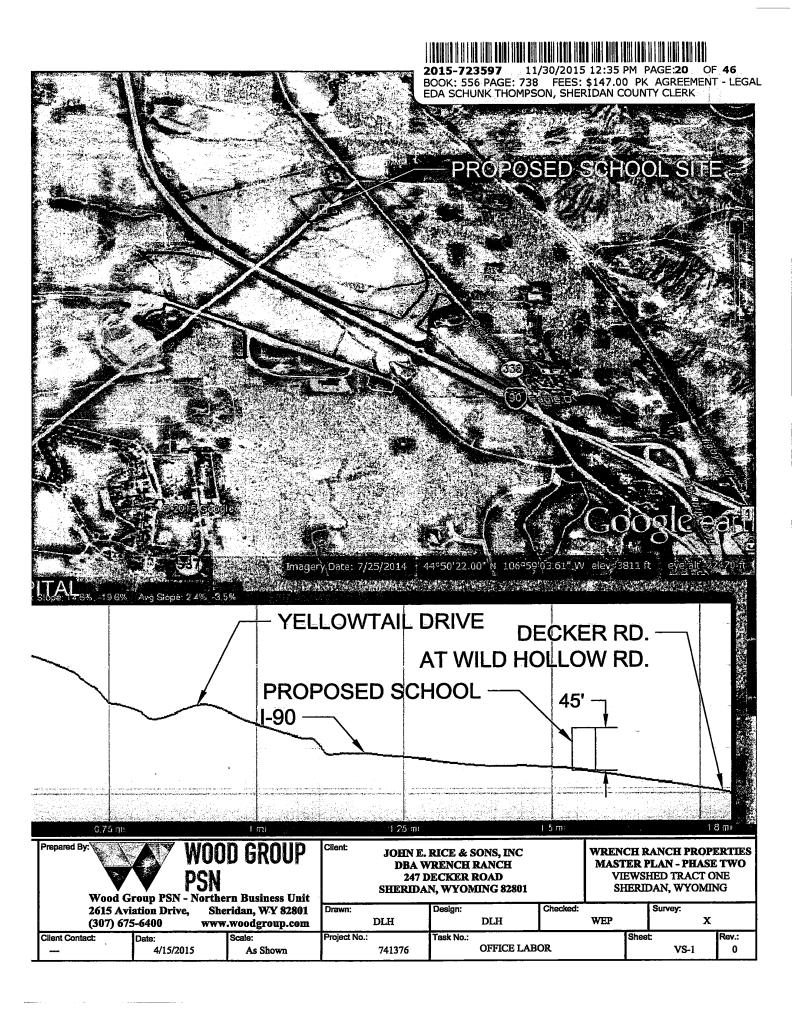
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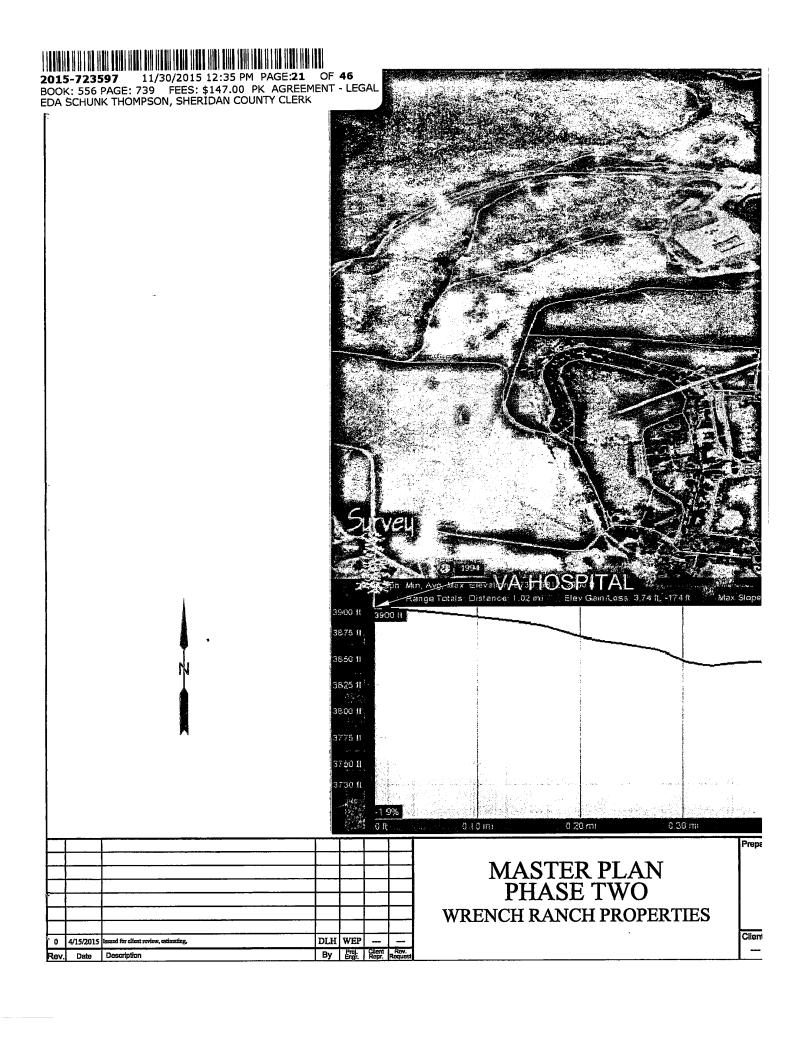
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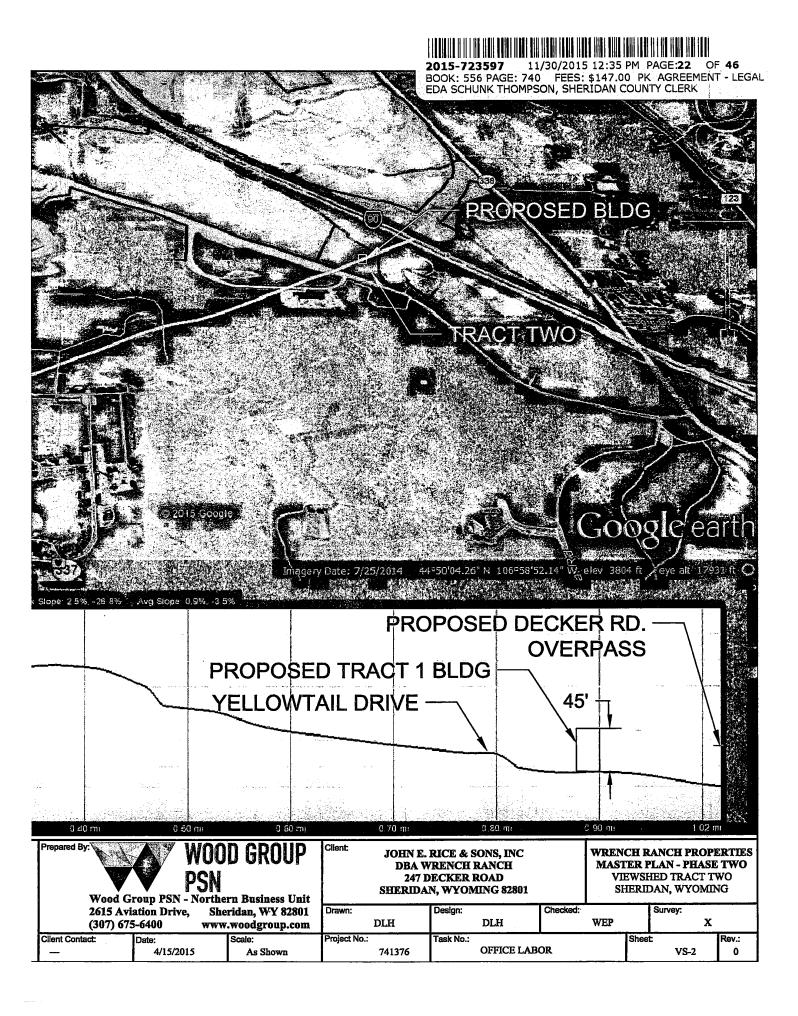
JOHN E. RICE & SONS, INC **DBA WRENCH RANCH** 247 DECKER ROAD **SHERIDAN, WYOMING 82801** WRENCH RANCH PROPERTIES MASTER PLAN - PHASE TWO SUBDIVISION PLAT SHERIDAN, WYOMING

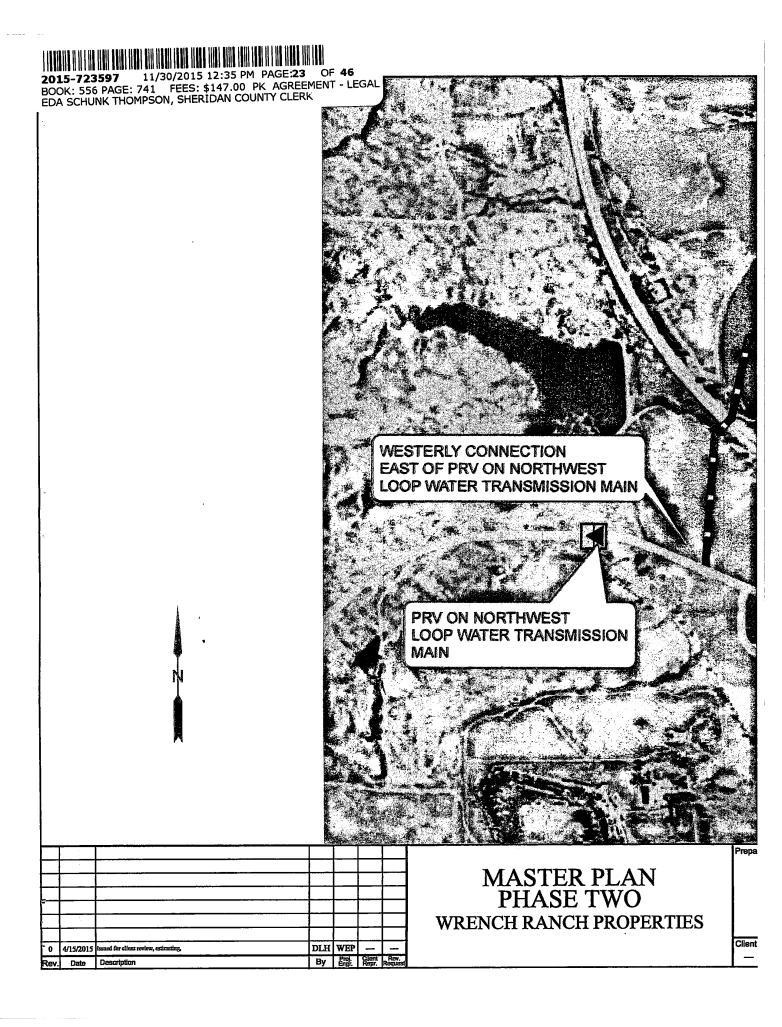
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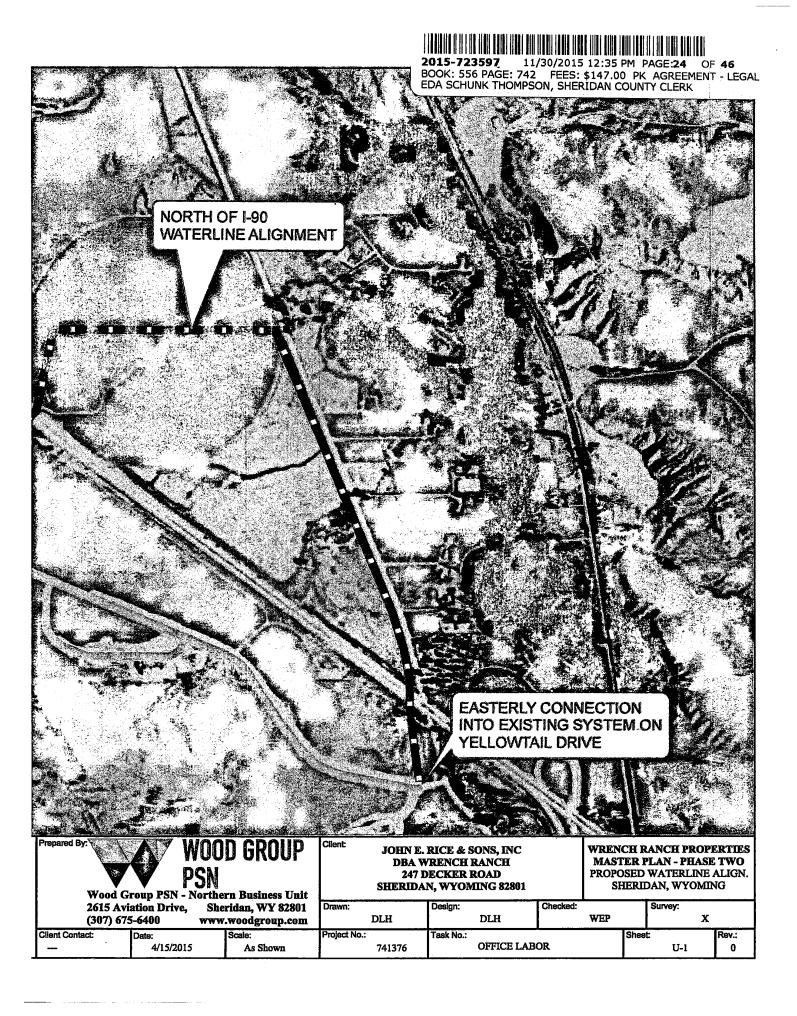


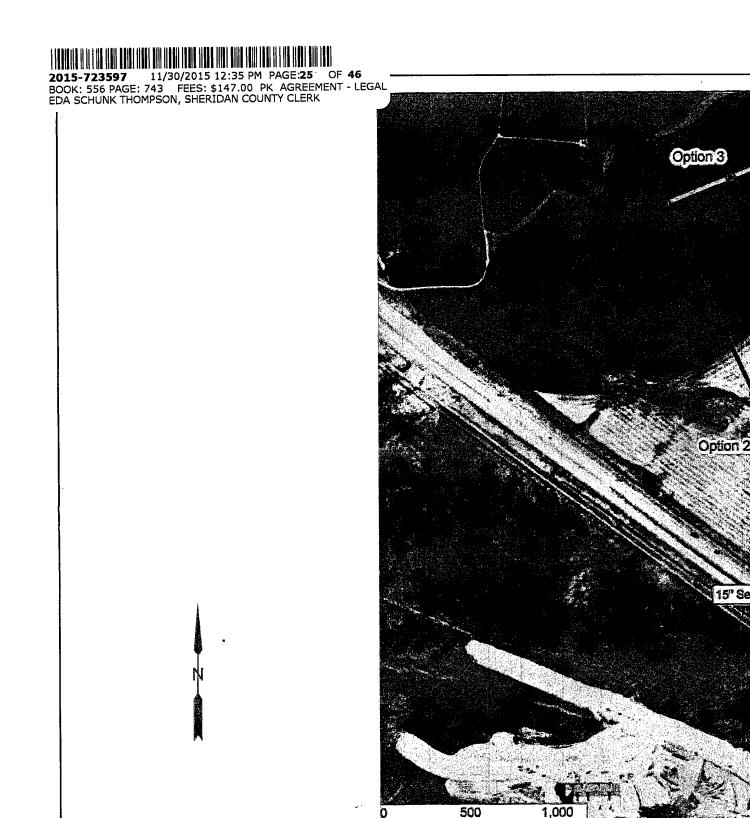












DLH WEP

By Proj. Client Rev. Engr. Repr. Reques

0 4/15/2015 Issued for elicut review, estimating,

Date

Description

MASTER PLAN PHASE TWO WRENCH RANCH PROPERTIES

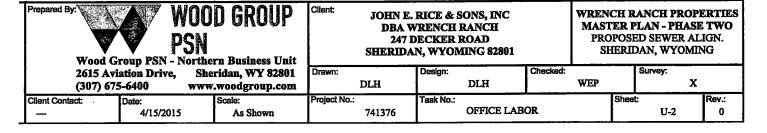
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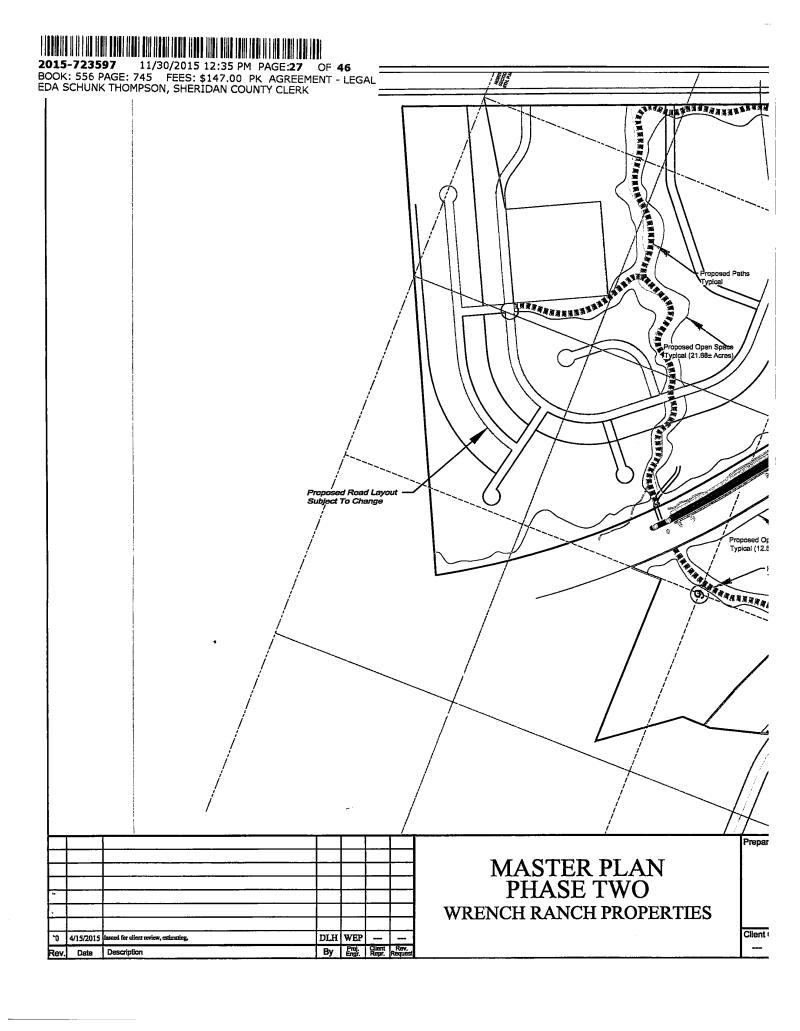
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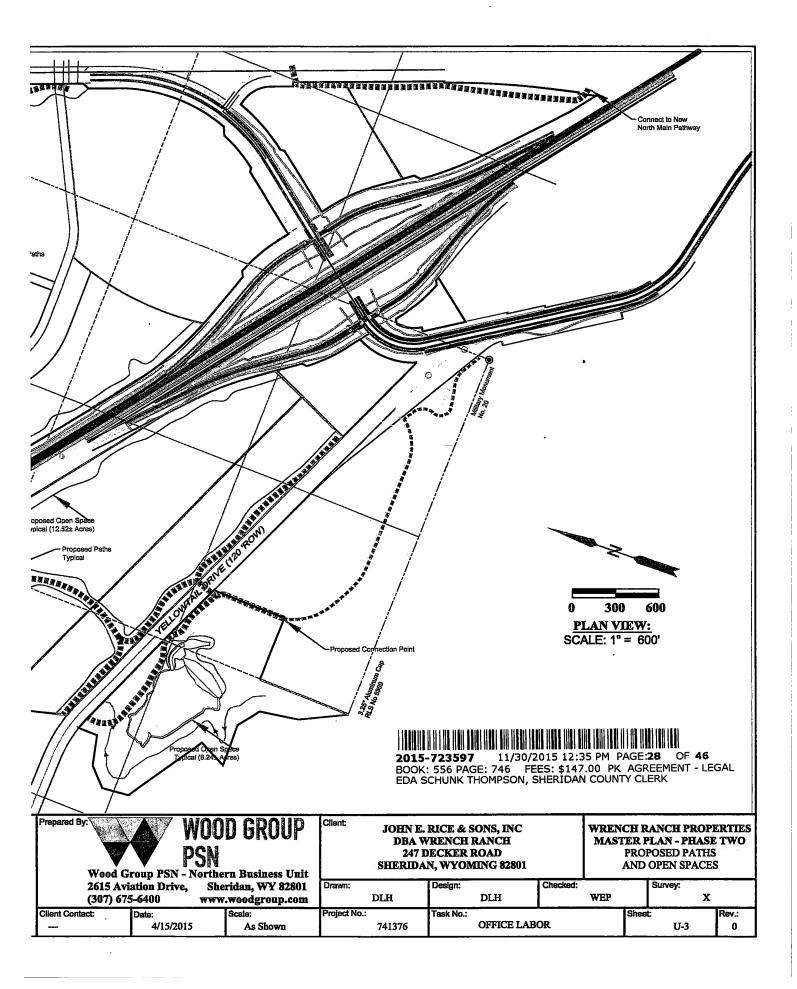


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INTRODUCTION A.

NOTE: INTENDED USES: Other uses that meet the general intent of this section may be considered if they meet all other requirements.

MASTER PLAN GOALS

- a. Long Range Planning. The intent of the Master Plan is to provide a long—range plan for the future that will encourage carefully planned and orchestrated development of high quality.
- The Master Plan is to provide a mix of integrated Balance of Uses. uses that provide a balance of residential, commercial, retail, office, open space and parks.
- c. Gateway/Entry to Sheridan. The Master Plan is to provide an organized, understood, visually coherent development that will function as an identifiable and gracious North entry to Sheridan.
- d. Understandable District of Sheridan. The Master Plan is intended to provide an understandable and distinct commercial and mixed— use district within Sheridan.
- Continuity. The Master Plan is to provide for continuous and uninterrupted extension to the North Main corridor, and Sheridan's parks, open space, and trails systems.

GENERAL PROVISIONS В.

- Purpose and Intent This Master Plan contains information that is necessary for the planning of development within the Wrench Ranch Phase Two. The purpose of this Master Plan is to provide in one location all the essential Guidelines, Standards and Regulations to be used in preparing a development proposal in the Wrench Ranch Phase Two.
- 2. Relationship to the City of Sheridan Municipal Code The Guidelines, Standards and Regulations of this Master Plan contain most of the information needed for development within the Wrench Ranch Phase Two Master Plan the Guides, Standards and Regulations of this Master Plan comply specifically with the City of Sheridan Gateway Ordinance contained within the City of Sheridan Municipal Code. However, topic areas not specifically covered here are governed by the equivalent provisions contained within the City of Sheridan Municipal Code.

The provisions of this Document, when in conflict, shall take precedence over all other codes, ordinances, regulations, and standards except as specifically noted within this Document. The City of Sheridan Municipal Code continues to be applicable only to issues not contained herein.

Future Approvals

5. Future approvals
Future site or development plans will be governed by these Guidelines,
Standards and Regulations, and the standards of the Sheridan Municipal Code
in effect at the time of the approval of this Master Plan. This Master Plan
will be exempt from future modifications to the Sheridan Municipal Code.

Terms and Definitions

Terms used throughout this Document shall take their commonly accepted meanings and as herein defined. In the event of conflicts between these definitions and those of the Sheridan Municipal Code, the Terms and Definitions of this Document shall take precedence.

Height and Bulk Standards All buildings constructed within this Master Plan will be subject to the specific height and bulk standards set forth in this Master Plan. GENERAL MASTER PLAN CRITERIA

Allowed Uses

Each of the (3) defined planning areas shall include a list of permitted, conditional, limited and accessory uses unique to that planning area.

- Defined Planning Areas
- MU Mixed Use C -- Commercial
- b.
- Residential C.

Density and Floor Area Rations (F.A.R.)

Each of the (3) defined planning areas shall include specific limitations on the number of dwelling units and/or building area. The dwelling unit and floor area limitations and definitions contained within this Master Plan take precedence over the City of Sheridan Municipal Code and all other codes, ordinances, regulations, and standards.

The Common Open Space provided within the Wrench Ranch Phase Two is up to 17% of the gross land area, and is in compliance with the standards set forth in the City of Sheridan Municipal Code Gateway Ordinance.

- Configuration: Open space areas and landscaping shall be configured in such a way as to protect viewsheds from public roads and recreational areas. Open space shall buffer existing uses to help ensure compatibility with future development.
- Dedication & Easements: All open spaces and recreational areas shall be dedicated to the City of Sheridan or placed in a permanent assement that precludes its use for anything other than agricultural, recreational, or open space uses.
- Drainage: Open space areas that include drainage areas shall preserve historic drainage channels and/or provide water for landscaped
- Area Restrictions: Areas occupied by drainage channels, draws, cliffs, easements and land areas with grades in excess of six percent shall not compromise more than fifty percent of the required open space area.

Each of the (3) defined planning areas shall include specific setback standards. The setbacks established as part of this Master Plan take precedence over all other codes, ordinances, regulations and standards, including the Sheridan Municipal Code.

The Mixed Use Area includes specific residential lot coverage standards.

The lot coverage standards established in this Master Plan take precedence over all other codes, ordinances, regulations and standards, including the Sheridan Municipal Code.

Signs

Sign Standards for the Wrench Ranch Phase Two will be established as part of the Master Plan. All signs within the Wrench Ranch Phase Two shall comply with the City of Sheridan Municipal Code. Layout, dimensions, and materials shall be submitted for review as part of all future development applications.

Building Height

Building Height will be measured as follows:

- a. Building height is measured from the average of finished grade at the center of all walls of the building to the top of the parapet or highest roof beam (whichever is higher) on a flat or shed roof, to the top of the parapet or deck level (whichever is higher) of a mansard roof, or the average distance between the highest ridge and its cave of a gable, hip or gambrel roof.
- b. Structure height (not including buildings) is measured from the average of finished grade of each support of the structure to the highest point of the structure.

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Rev.	Date	Description	Ву	Proj. Engr.	Client Repr.	Rev. Request

MASTER PLAN PHASE TWO WRENCH RANCH PROPERTIES

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- c. Finished grade shall be consistent with an approved grading and drainage plan, as applicable and best management practices and shall be consistent and compatible with surrounding properties.
- All open spaces are accessible to the general public.
- Dimensional Standards

S. Difficial scalars and standards of the (3) defined planning areas shall include specific dimensional standards. The dimensional standards contained within this Master Plan take precedence over all other codes, ordinances, regulations and standards, including the City of Sheridan Municipal Code.

- Design Standards
- Each of the (3) defined planning areas shall include Design Guidelines and Standards. These take precedence over all other codes, ordinances, regulations, and standards including the City of Sheridan Municipal Code.
 - NOTES AND PROVISIONS D.
- Total acreage: 365.86 +/- acres 11.
- 12. Existing Zoning: City of Sheridan Gateway District
- 13. Not Used
 - 14. This Master Plan covers only Phase Two.
- 15. Landscaping will meet or exceed the City of Sheridan Municipal Code Landscaping Standards. Final Landscape Design will be submitted for approval as part of a Subdivision submittal or development approval
- a. Project review shall undergo the review process described in City of 16. Landscape buffers and setbacks will be provided throughout the Master Sheridan Ordinance, Appendix A 'Zoning', Section 15. Plan and will be subject to review at the time of Subdivision submittal or development approval process.
- 17. Setbacks, screening, landscaping and berming will be used to buffer development.
- 18. North Main/Decker Road is Wyorning State Highway 338 and is under the jurisdiction of WYDOT and is anticipated to be developed in compliance with WYDOT standards.
- 19. The developer is responsible for providing conduit crossings of the roadways, detached walks, and other surface features, including ditches. Specific crossing locations will be determined when system design is complete and provided at the time of final plat.
- Detention ponds shall be owned, maintained and operated by the City
 - 22. Parking Requirements

- Residential garage parking spaces shall count towards meeting the parking requirement.
- d. On—street parking that is directly adjacent to the lot frontage may be counted as part of the parking provision.
- Bicycle racks shall be provided.
- Not used.
- g. Mixed Use Shared Parking: The standard calculations for a Mixed—Use development may be reduced by up to 15% with a Shared—Parking agreement approved by the City of Sheridan.
- 23. Drainage will be conveyed to detention ponds throughout the Master Plan through a combination of surface and underground facilities. Surface water will be detained and released at the historic rate per City of Sheridan
- 24. Final street names will be provided at the time of final plat.
- 25. All activity within the Master Plan shall meet applicable City noise standards for the appropriate planning area at the boundary of the Master
- 26. Procedures for Design Review

All new development and redevelopment that meets the criteria for Substantial improvement per City of Sheridan Zoning Ordinance shall be required to submit site plan and detailed façade drawings. Requests for building and site review shall be reviewed and approved by the Planning Commission of the City of Sheridan prior to building permit approval for any such project.

- Building Elevations, Landscape Plan, & Grading Plan.
- 27. Specific Trumps the General

The Table of Permitted Principal Uses Identifies uses both specifically and generally. If a use is not specifically identified, then the more general listing of similar uses shall apply. However, if a use is specifically identified, that listing, not the general shall determine the appropriate zone for the uses. for the use.

28. Accessory Uses included

All accessory uses, structures, and activities shall be subject to the general, dimensional, operational, and use—specific regulations stated in the Master Plan Except as otherwise expressly approved by the City for an accessory dwelling unit, no accessory structure or building shall include a dealling unit. dwelling unit.

Use	Spaces	
Churches	11	Per five seats
Single Family	2	Per dwelling unit
Two Family	2	Per dwelling unit
Multi-family	1	Per dwelling unit
Medical Facilities including but not limited to: urgent care, Cut—patient, medical and dental clinics	1	Per bed or 100 SF
Convolescent, nursing and other health homes and institutions, homes for aged, one additional space children's homes and welfare or correctional institutions	1	Per three beds, plus one additional space per employee
Bed and Breakfast	1	Per unit
Veterinary Clinic	1	Per 200 SF
Commercial	1	Per 100 SF
Colleges and Universities	1	Per 5 seats
Recreation Facilities	1	Per 250 SF
Private club	1	Per 10 members
Office and institution	1	Per 350 SF
Restaurant or Bar	11	Per 2.5 sects
Banks, post office, business and professional and government offices	1	Per 300 SF
Light Industrial	1	Per 750 SF
Hatel	1	Per bedroom
Retail	3.5	Per 1000 SF

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WOOD GROUP PSN Wood Group PSN - Northern Business Unit		JOHN E. RICE & SONS, INC DBA WRENCH RANCH 247 DECKER ROAD SHERIDAN, WYOMING 82801					WRENCH RANCH PROPERTIES MASTER PLAN - PHASE TWO GENERAL PRINCIPLES, GUIDELINES & STANDARDS SHERIDAN, WYOMING				
2615 Av (307) 67		eridan, WY 82801 v.woodgroup.com	Drawn:	DLH	Design:	DLH	Checked:	WEP	Sur	vey: X	
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A. INTRODUCTION - MIXED USE

1. GENERAL DESCRIPTION

The Mixed Use (MU) Planning Area will serve the business, commercial and residential needs of the Wrench Ranch Phase Two Master Plan. The area will include a mixture of businesses, housing, restaurants and offices. The area is intended to be pedestrian—oriented and to be characterized by buildings with outdoor corridors that lead people through the development.

B. PRINCIPLE USES

The following Table (MU Permitted Uses—Mixed Use Planning Area) the symbol "P" indicates the uses that shall be permitted in the Mixed—Use District. Uses not permitted are indicated with the symbol "X".

Table MU Permitted Uses—Mixed Use	Permitted
A. Residences & Other Living Accommodation	
Affordable Housing	
Boarding, rooming houses	P
Family—care homes	P
Group-care homes	P
Group-care Institutions	P
Residential rehabilitation facility	P
Town home dwelling	P
Two, three and four family dwellings	P
Hotel	P
	
B. Consumer Goods and Services	P
Bed and breakfast establishments	P
Commercial Shopping Center	-
Copy shops and printing services including typesetting	
Daycare Centers	<u>P</u>
Daycare home	P
Financial Institutions	
1. Financial site, drive-up facility not located on some	P
	i i
2. Financial Automatic taler Machines Gasoline sales in confunction with or without ratal use Hardware, building materials or Garden Stares	P
Cossiline order in confunction with or without rately use	P
Undergree building materials or Corder Stores	þ
Unidadia' mindia iliata imp ce central Strees	
	- p
Office uses including:	15
Medical or dental offices and clinics, professional offices, &	1
general business use	
Personal service shops	P
Retail sales—General including Food sales	
Retall sales—Ambulatory Vendor	ΙP
Retail sales-Mobile Vendor Cart	ÎΡ
Retail sales-Outdoor	P
Notice Street Contracts	1 p
Veterinary clinics & hospitals	
C. Business—to Business Goods and Services	
Business service establishments	
Catering establishment	P
Commercial laundries and linen services	Р
Data, radio, TV or other broadcasting facilities	P
1. Without outdoor transmission or receiving facilities	P
2. With cutdoor transmission or receiving facilities	T X
General administrative offices	P
Madest dental and antical laboratories and received facilities	- P
Medical, dental and optical laboratories and research facilities D. Educational, Religious and Cultural Uses	
D. Educational, Nongrous and Cultural Oses	
Colleges, universities (Satellite Office)	P
Convention and Conference Centers	P
Libraries, museums or art centers including accessory	"P
education facilities	
Performing areas centers, auditoriums and other places of	P
gasembly	1
Places of religious assembly including churches, synagogues	Р
	1.
or temples	P
Schools, daycare center facilities, offices other than the administration of the principal use of commercial activities	1 '
administration of the principal use of commercial activities	
(ea. Retail stores)	
Public and private schools for kindergerten, elementary or	P
secondary education	
Special schools such as martial arts, dance or other	P
similar personal skills instruction	
Trade or vacational schools	P
E Decreation Social and Entertainment Hees	
Trade or vocational echoels E. Recreation, Social and Entertainment Uses Adult or Socially oriented businesses are specifically	- X
Adult or Sexually Criented Businesses are specifically	1 ^
prohibited within all areas of the Master Plan Indear commercial recreation facilities	
indoor commercial recreation facilities	P
Live entertainment establishment with indoor and	P
auticar seating or activity area	
Private membership clubs for health, recreation and	P
athletic facilities	Ι'
	— Б
Public and private open space	
Public and private parks and playgrounds	-
Public and private play fields, courts, recreation centers	٠ ٢
and other public recreation facilities with associated	
dining facilities	
	Р

Restaurants	P
1. Restaurants with autside eating area	P
2. Restaurants with drive—in facilities	Р
Social, fraternal clubs and lodges .	P
F. Storage, Parking, & Transportation Uses	
Bus, railroad, public transit terminal	P
Parking lots to serve other principal uses within the district	P
G. Public and Institutional Uses	
Emergency services, rescue squad/ambulance services	Р
Essential municipal, private and public utility uses, facilities,	P
services and structures	
Government administrative and service offices	P
Medical facilities including but not limited to urgent care.	Р
outpatient clinic and medical and dental clinics	
H. Agricultural Uses	
Continued agricultural production on undeveloped	P
portions of the Master Plan	

C. ACCESSORY USES

Accessory structures are defined as any building or use which is subordinate in purpose, area or intensity of the principal building or use served, is normally associated with the principle building or use, contributes to the needs of the occupants, business enterprise or industrial operation within the principle building or use served and is located on the same lot as the principle building or use.

USE	Permitted
Accessory dwelling unit	P
Automated Teller Machine (ATM)	P
Cafeteria, Dinina Halls and Similar Food Services	P
Car Wash Bay	P
Domestic animals, provided such household pets and	P
kennels are not maintained	
Dwelling unit for comer, coretaker or employee	<u> </u>
Fences, hedges or walls	P
Home eccupation	<u></u>
Offices to operate principal use	P
On-premise sions	P
On-site daycore centers(for employees children)	P
Outdoor sales, display of merchandise or other activity	P
that is part of or related to the principal use, but	
which is not specifically addressed this matrix, provided	
such area does not exceed 10% of the gross floor area	
of the principal structure	—-
Outdoor soles with a youth vendors license	P
Outdoor storage	P
Playhouses, potios, cobano, parches and gazebos	P
Incidental household storage buildings	X
Play lots, recreation facilities, on-site management office, laundry facilities for use by residents only	P
Production of fermented mait beverages, mait, special	
	1
mait and vincus and spirituous liquors (brew pub)	P
Recycling collection point	- - - - - - - - - -
Residential garages and carports	- P
Restaurants, bars, newsstands, gift shops, clubs,	15
managerial offices and lounges	-
Retall sales of goods as part of permitted	
industrial and warehouse uses	— Р
Satellite dish entennas accessory to residential uses	
Sotellite dish antennas accessory to nonresidential uses	-
(not including home occupations)	
Storage or parking of trucks, care or major recreational	X
equipment, including but not limited to boots, boot	
trailers, camping trailers, motorized homes and house trailers	
Swimming peels and hot tubs accessory to residential uses	P
Other accessory uses as determined by the Planning Director	P
to meet accessory criteria	

D. MIXED-USE DISTRICT: SETBACK & HEIGHT STANDARDS
The standards contained in Table MU-2 are intended to provide minimum standards for development in this planning area. These Standards supersede applicable portions of the City of Sheridan Municipal Code.
These Standards shall not be construed to supersede more restrictive development standards contained in the Conditions, Covenants and Restrictions of any property or structure. However, in no case shall private deed restrictions permit a lesser standard in the case of a minimum standard of this section or permit a greater standard in the case of a maximum standard.

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MASTER PLAN
PHASE TWO
WRENCH RANCH PROPERTIES

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Mixed-Use Setback & Helaht Standards	
Location	Width/Height
Building Setback	
Yellowtali Drive	15'
Local—through Street	15"
Local Internal Streets	15"
Side	15'
Front	15"
Rear	15'
Height Limitations (varies by location, see Master Plan)	
Commercial Principal Use (4 stary Max.)	45° 45°
Residential Principal Use	45'

ack are measured from the Property Line/R.O.W.

SPECIAL STANDARDS

Special development standard related to MU Mixed-Use include the following:

Encroachments/Projections into setbacks:

- Eaves, roof projections, awnings, projection signs and other features may project into required yards a maximum of a. teatures may project into required yards a maximum or three (3) feet, provided such appendages are supported at or behind the building setback line.

 Open overhead trellises may encroach into a required setback adjacent to a street behind the R.O.W. line.

 Encroachments and projections into easements must be approved by the easement holder and the City of Sheridan.

- Encroachments and projections shall be constructed of firerated or fire-resistive construction if required by the Building Codes.

SITE PLANNING PRINCIPLES

- Site and orient buildings to concentrate and reinforce pedestrian activity along sidewalks.
- 2. Provide safe and efficient vehicular parking lots while minimizing the negative visual impacts commonly associated with large paved areas. Developers are encouraged to provide pedestrian walkways or other means to convey pedestrians from the parking lots to the building entries.

G. SITE PLANNING GUIDELINES

- **Building Siting and Orientation**
- Site buildings to face the main street frontage.
- C.
- Site buildings to race the main street frontage.

 Provide clearly articulated pedestrian—oriented entries
 It is encouraged that developments include pedestrian
 spaces such as plazas, squares, and forecourts.

 Create continuous building facades along the street and
 public space. Avoid blank facades and "dead" or vacant
 spaces within the streetwall.

 Site buildings to concentrate continuous pedestrian activity
- along the street and within formal open space areas.
- Define urban open space with building masses and pedestrian amenities. The edges of courtyards, plazas and greens should contain residential entrances, retail storefronts, restaurants and/or offices designed to enhance the pedestrian experience. Blank walls and dead spaces without pedestrian interest shall be minimized.
- Vehicular Circulation and Parking Segment large parking lots into smaller courts to minimize the perceived scale of the total parking area. a.
 - Locate parking areas within internalized parking courts or to the sides or rear of buildings.
 - Service Delivery and Outdoor Equipment Storage
 - Avoid placing service areas where they are visible from adjacent buildings or streets.
 - Provide 6' high opaque screen fence or wall around
 - trash/recycling enclosures.
 Locate loading docks, trash enclosures and service areas behind buildings accessed from alleys or internal parking courts
 - Provide separate parking areas for delivery trucks and service vehicles located behind buildings.
 - Create shared service areas. Align service areas with those of adjacent buildings so that service drives may be shared.
 - Locate accessory structures behind buildings.

f.

- ARCHITECTURE MIXED USE PRINCIPLES (MU)
- Design clearly articulated human scale buildings. Use tower elements at corners designed to punctuate street intersections.
- Orchestrate building structural bays to create repetitive building rhythms.

ARCHITECTURAL GUIDELINES - MIXED-USE (MU)

Building Massing and Form

- Segment buildings into three major components: the ground floor base that anchors the building to the ground; the upper story façade, that provides transparency and the cap that
- bivide large buildings into a series of individual storefronts, commonly occupying single or multiple structural bays of similar design and proportion.
- Provide scale—giving building massing, elements, ornament, patterns & textures to provide human scale to the final design.
- Design the building masses to provide continuity with adjacent structure
- Terminate the top of the building with a distinctive pitched
- Avoid large, monumental, undifferentiated and scale-less building masse
- Punctuate the skyline with corner towers. Tower elements provide a proper termination of converging street walls, accentuating the corner.
- Ground Floor Storefront Base
- Use commercial storefront heights to allow natural light to penetrate interiors. Storefront minimum height: 10'.
- Upper Story Facades Emphasize horizontal building features such as continuous cornice elements, repetitive window openings and sign bands that provide architectural continuity between neighboring buildings.

4. Roof Cap
Terminate the top of the building with a distinctive roof cap.

Design roof caps using the following techniques:
a. Terminate the top of the flat roof with a distinctive cornice

Terminate the top of the flat roof with a distinctive cornice.

- and parapet wall.

 Align cornice lines with neighboring buildings to avoid clashes in styles and materials.
- d.
- styles and materials.

 Support pitched roof eave overhangs with corbels or brackets

 Sheath sloped roofs with a durable roofing material that is

 complimentary to the architectural style of the building.

 Avoid radical roof pitches that create overly prominent or outof-character buildings.

 Avoid continuous roof planes. Pitched roof planes exceeding
- 60 linear feet should incorporate articulated roof elements that include the following:

Cross Gables **Roof Monitors** Vertical Tower Elements Roof Dormers

Conceal rooftop mechanical equipment. All rooftop mechanical equipment shall be completely screened within a penthouse or hidden behind a roof parapet.



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WOOD GROUP PSN Wood Group PSN - Northern Business Unit		JOHN E. RICE & SONS, INC DBA WRENCH RANCH 247 DECKER ROAD SHERIDAN, WYOMING 82801			WRENCH RANCH PROPERTIES MASTER PLAN - PHASE TWO MIXED USE PRINCIPLES, GUIDELINES & STANDARDS SHERIDAN, WYOMING					
		Drawn: DI		Design:	DLH	Checked:	WEP	Survey:		
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- Define the base of storefront buildings with a masonry base designed to anchor structure to the ground plane, minimum height: 36'
- Awnings/Sunshades
 Design awnings to compliment the structural framework of
 the building. Awnings should express the shape and
 proportion of window openings and structural bays.
 Do not obstruct transom windows with awnings.
 Internally illuminated awnings are prohibited. Awnings shall
 not be back lighted.
- C.
- not be back lighted. Construct awnings of durable material. d.
- 7. **Building Materials**
- Use building materials such as brick, stone and wood that
- help interpret the size of the building. Avoid large, featureless building surfaces such as large all glass curtain walls. ь.
- Avoid an excessive variety of façade materials. The following building materials are permitted:

Building Base and Facades: Concrete, Precast Masonry, Brick

Masonry, CMU (Integrally colored) Quality Metal Panels

Masonry, Stone (ie. Ashler-laid, broken rangework,

pitched faced, quarry faced)
Masonry, Stone Veneer (ie. Brownstone, sandstone,

slate) Metal, Structural

Stucco

Metal wall panels, Corrugated, standing seam, etc. (Use

with discretion)

Roofs:

Composite Roofing (Architectural grade dimensional fiberglass mat shingles)

Concrete Shakes (Raked to mimic a natural wood

shake)

Metal, Standing Seam (Seams shall be spaced a

maximum of 18 inches)

Rolled metal or single-ply membrane roofing screened from public view by a parapet

Slate (real or cultured)

Tile, Flat Concrete (Modern Slate)

Brackets, Corbels and Beams Wood, Dimensional

Windows: Glass, transparent or lightly tinted

Use wall materials based upon the following

recommendations:

Board and Batten (wood or cementitious)

Brick

Corrugated Metal (use with discretion) Siding, Clapboards (wood or cementitious)

Siding, Fishscale (wood)
Siding, Drop (wood or cementitious)

Siding, Lap (wood or cementitious)

Siding, Shingle (cedar, redwood or cementitious)

Siding, Tongue and Grove (wood or cementitious)

Stone (natural) Stone (cultured)

Stucco (exterior plaster)

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MASTER PLAN PHASE TWO WRENCH RANCH PROPERTIES

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Prepared By: **WOOD GROUP** WRENCH RANCH PROPERTIES Client: **JOHN E. RICE & SONS, INC** MASTER PLAN - PHASE TWO DBA WRENCH RANCH MIXED USE PRINCIPLES, **PSN** 247 DECKER ROAD **GUIDELINES & STANDARDS** SHERIDAN, WYOMING 82801 SHERIDAN, WYOMING **Wood Group PSN - Northern Business Unit** Sheridan, WY 82801 Drawn: Design: Checked: Survey: 2615 Aviation Drive, www.woodgroup.com WEP X DLH (307) 675-6400 DLH Project No.: Client Contact: Date: Scale: Task No.: Sheet: Rev.: OFFICE LABOR 4/15/2015 As Shown 741376 LU-3 0

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A. INTRODUCTION - COMMERCIAL

1. GENERAL DESCRIPTION

The Commercial (C) Planning Area will serve the business and commercial needs of the Wrench Ranch Phase Two Master Plan and will serve as a commercial hub for the North end of Sheridan. The area will include a mixture of vehicular and pedestrian—oriented businesses, restaurants, and offices. The area is intended to be able to be reached by pedestrians from the Mixed—Use (MU) zone of the Master Plan as well as by vehicle from out of the district.

B. PRINCIPAL USES

The following Table (C Permitted Uses—Commercial) the symbol "P" indicates the uses that shall be permitted in the Commercial District. Uses not permitted are indicated with the symbol "X".

TABLE C PERMITTED USES-COMMERCIAL	PERMITTED
A. OFFICES USE TYPES	
General Offices	P
Financial Offices	P
Medical Offices	LP
B. COMMERCIAL USE TYPES	
Agricultural sales & Service	l P
Business Pork	- 19
Commercial center	
Communication services	P
Construction sales & service	P
Consumer repair services	р
Copy shops and printing services including typesetting	P
Food sales	þ
General retail	P
Laundry	P
Liquor sales	P
Medical clinic	þ
Veterinary clinics	P
Veterinary hospitals	P
General administrative offices	P
Adult or Sexually oriented businesses are specifically prohibited within a areas of the Master Plan	ııı X
Indoor commercial recreation facilities	P
Eus, railroad, public transit terminal	- P
Parking lots to serve other principal uses within the district	P

C. ACCESSORY USES

Accessory structures are defined as any building or use which is subordinate in purpose, area or intensity of the principal building or use served, is normally associated with the principal building or use, contributes to the needs of the occupants, business enterprise or industrial operation within the principal building or use served and is located on the same lot as the principal building or use.

USE	Permitted
Automated Teller Machine (ATM)	LP.
Cafeteria, Dining Halls and Similar Food Services	P
Car Wash Bay	[P
Fences, hedges or walls	T P
Nurseries and greenhouses	T P
Offices to operate principal use	P
On-premise signs	P
Recycling collection point	P
Retail sales of goods as part of permitted industrial and warehouse uses	P
Sale of motor vehicles provided the interior of the lot is appropriately landscaped with creas containing soci, native grasses, strubs, bushes and trees	P
Satallite dish antennas accessory to nonresidential uses	P
Screened outdoor storage or sale of construction materials, plants, and gardening materials located adjacent to a retail establishment and not exceeding five percent of the gress indoor floor area of the retail establishment.	P
Storage or parking of trucks, cars or major recreational equipment, including but not limited to boats, boat trailers, camping trailers, materized homes and house trailers	X
Other accessory uses as determined by the Planning Director to meet accessory criteria	Р

D. PROHIBITED USES

Prohibited Uses shall be as described in Sheridan Zoning Code Zone B-2.

E. COMMERCIAL DISTRICT: SETBACK & HEIGHT STANDARDS

The Guidelines, Standards, and Regulations of this Master Plan were written with the intent of complying with the City of Sheridan Gateway Ordinance (Ord. 2066) contained within the City of Sheridan Municipal Code. In regards to building setback (excluding required landscape buffers), height and density; this Master Plan shall take precedence over municipal code. In all other matters, development of the Wrench Ranch Mater Plan Phase Two shall be fully compliant with the City of Sheridan Municipal Code.

TABLE C-2
COMMERCIAL SETBACK & HEIGHT STANDARDS

Location	Width/Height
Building Setback	
I-90	50'
N. Main	15'
Local Internal Streets	15'
Side Yard—Within Planning Area	15'
Side "Common Wall"	0,
Rear	15'
Height Limitations Commercial Principal Use (4 stary Max.)	45°

F. SPECIAL STANDARDS

Special development standard related to Commercial include the following:

- 1. SETBACKS All setback are measured from the Property Line.
- 2. ENCROACHMENTS/PROJECTIONS INTO SETBACKS AND OFFSET(YARDS)
- a. Eaves, roof projections, awnings, projection signs and other features may project into required yards a maximum of three (3) feet, provided such appendages are supported at or behind the building setback or offset line.
- Encroachments and projections into easements must be approved by the basement holder and the City of Sheridan.
- Encroachments and projections shall be constructed of firerated or fire-resistive construction if required by the Building Codes.
- G. SITE PLANNING PRINCIPLES
- Site and orient buildings to concentrate and reinforce pedestrian activity along sidewalks.
- 2. Provide safe and efficient vehicular parking lots while minimizing the negative visual impacts commonly associated with large paved areas. Developers are encouraged to provide pedestrian other means to convey pedestrians from the parking lots to the building entries.
- Locate stand alone satellite building at site entrances to "announce" entry.
- H. SITE PLANNING GUIDELINES
- 1. BUILDING SITING AND ORIENTATION
- a. Create continuous building facades along the street and public space. Avoid blank facades and "dead" or vacant spaces within the streetwall.
- Site buildings to concentrate continuous pedestrian activity along the street and within formal open space areas.
- Orient primary building storefront openings towards the street or formal open space areas as opposed to rear parking areas.

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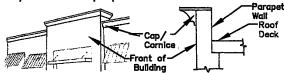
- 1. Site buildings to face the main street frontage.
 - e. Provide clearly articulated pedestrian—oriented entries.
- 2. VEHICULAR CIRCULATION AND PARKING
- Segment large parking lots into smaller courts enclosed by buildings and framed by tree rows designed to minimize the perceived scale of the total parking area.
- Locate parking areas within internalized parking courts or to the sides or rear of buildings.
- . Provide bicycle parking.
- All parking requirements shall meet or exceed the City of Sheridan Municipal Code.
- 3. SERVICE DELIVERY AND OUTDOOR EQUIPMENT STORAGE
- Avoid placing service areas where they are visible from adjacent buildings or streets.
- Locate loading docks, trash enclosures and service areas behind buildings accessed from alleys or internal parking courts.
- Create shared service areas. Align service areas with those of adjacent buildings so that service drives may be shared.
- 1. Locate accessory structures behind buildings.
- Provide 6' high opaque screen fence or wall around trash/recycling enclosures.
 - f. Provide separate parking areas for delivery trucks and service vehicles located behind buildings.
- ARCHITECTURE COMMERCIAL USE PRINCIPLES (C)
- 1. Design clearly articulated human scale buildings.
- Orchestrate building structural bays to create repetitive, non-monotonous building rhythms.
- J. ARCHITECTURAL GUIDELINES COMMERCIAL (C)
- I. BUILDING MASSING AND FORM
- Divide large buildings into a series of individual storefronts, units, or multiple structural bays of similar design and proportion.



- Provide scale—giving building massing, elements, ornament, patterns & textures to provide human scale to the final design.
- Avoid large, monumental, undifferentiated and scale—less building masses.

2. ROOF CAP

- Terminate the top of the building with a distinctive roof cap and/or cornice. Design roof caps using the following techniques:
- Terminate the top of the flat roof with a distinctive cap and/or comice and parapet wall.



- Align cornice lines with neighboring buildings to avoid clashes in styles and materials.
- III. Support pitched roof eave overhangs with corbels or brackets.

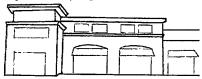


- Sheath sloped roofs with a durable roofing material that is complimentary to the architectural style of the building.
- Avoid radical roof pitches that create overly prominent or out—of—character buildings.
- VI. Avoid continuous roof planes. Pitched roof planes exceeding 50 linear feet should incorporate articulated roof elements that include the following:

Cross Gables Roof Monitors Vertical Tower Elements Roof Dormers



Vary Roof Lines/Heights



- VII. Conceal rooftop mechanical equipment, antenna, satellite dishes, etc. All rooftop mechanical equipment shall be completely screened within a penthouse or hidden behind a roof parapet.
- 3. MASONRY OR STONE BASE
 - Define the base of buildings with a masonry or stone base designed to anchor structure to the ground plane.





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WUUD GRUUP PSN Wood Group PSN - Northern Business Unit 2615 Aviation Drive, Sheridan, WY 82801		Client	Client JOHN E. RICE & SONS, INC DBA WRENCH RANCH 247 DECKER ROAD SHERIDAN, WYOMING 82801				WRENCH RANCH PROPERTIES MASTER PLAN - PHASE TWO COMMERCIAL PRINCIPLES, GUIDELINES & STANDARDS SHERIDAN, WYOMING		
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AWNINGS/SUNSHADES 4.

Design awnings to compliment the structural framework of the building. Awnings should express the shape and proportion of window openings and structural bays.



- Do not obstruct transom windows with awnings. ь.
- internally illuminated awnings are prohibited. Awnings shall not be back lighted. C.
- Construct awnings of durable material. d.
- BUILDING MATERIALS 5
- Use building materials such as brick, stone and wood that help interpret the size of the building.
- Avoid large, featureless building surfaces such as large all glass curtain walls or unarticulated tile concrete.
- Avoid an excessive variety of façade materials.
- The following building materials are permitted: d.
 - I. Building Base and Facades:

Concrete, Precast Masonry, Brick

Masonry, CMU (Integrally colored)(Recommend split face)

Masonry, Stone (ie. Ashler-laid, broken rangework,

pitched faced, quarry faced)
Masonry, Stone Veneer (le. Brownstone, sandstone, slate)
Metal, Structural

Stucco

Metal wall panels, Corrugated, standing seam, etc. (Use

with discretion) (Less than or equal to 15% coverage)

Cultured Stone

II. Roofs:

Composite Roofing (Architectural grade dimensional

fiberglass mat shingles) Concrete Shakes (Raked to mimic a natural wood shake)

Metal, Standing Seam (Seams shall be spaced a maximum of 18 inches)

Rolled metal or single—ply membrane roofing screened from public view by a parapet

State (real or cultured)

Tile, Flat Concrete (Modern Slate) Brackets, Corbels and Beams

Wood, Dimensional (Beams)

III. Windows:

Glass, transparent or tinted (not mirrored)

IV. Use wall materials based upon the following recommendations:

Board and Batten (wood or cementitious)

Corrugated Metal (Less than or equal to 15% coverage)

Siding, Clapboards (wood or cementitious)

Siding, Fishscale (wood) Siding, Drop (wood or cementitious)

Siding, Lap (wood or cementitious)
Siding, Shingle (cedar, redwood or cementitious)

Siding, Tongue and Grove (wood or cementitious)

Stone (natural)

Stone (cultured)

Stucco (exterior plaster)

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MASTER PLAN PHASE TWO WRENCH RANCH PROPERTIES

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WOOD GROUP Prepared By: Client: WRENCH RANCH PROPERTIES JOHN E. RICE & SONS, INC MASTER PLAN - PHASE TWO DBA WRENCH RANCH **COMMERCIAL PRINCIPLES, FUTURE** 247 DECKER ROAD **OPEN SPACES/RIGHT OF WAY SHERIDAN, WYOMING 82801** Wood Group PSN - Northern Business Unit **GUIDELINES & STANDARDS** 2615 Aviation Drive, Sheridan, WY 82801 Drawn: Design: Checked: Survey: WEP (307) 675-6400 DLH DLH X www.woodgroup.com Project No.: Client Contact: Date: Scale: Task No.: Sheet: Rev.: 4/15/2015 OFFICE LABOR As Shown 741376 LU-5 0



INTRODUCTION - RESIDENTIAL

OF 46 BOOK: 556 PAGE: 757 FEES: \$147.00 PK AGREEMENT - LEGAL EDA SCHUNK THOMPSON, SHERIDAN COUNTY CLERK

GENERAL DESCRIPTION

The Residential (R) Planning Area will serve the Residential needs of the Wrench Ranch Phase Two Master Plan and will serve as a Residential hub for the North end of Sheridan. The area will include a mixture of vehicular and pedestrian and educational facilities. The area is intended venticular and peasurian and educational racinities. The dreats intention to be able to be reached by pedestrians from the Mixed—Use (MU) zone of the Master Plan as well as by vehicle from out of the district.

PRINCIPAL USES

The following Table (R Permitted Uses—Residential) the symbol "P" indicates the uses that shall be permitted in the Residential District. Uses not permitted are indicated with the symbol "X".

TABLE R-1 PERMITTED USES-RESIDENTIAL

PERMITTED

Estate Single Family Homes	P
Single Family detached homes	P
Single Family attached homes	P
Affordable Housing	. 9
Kulti Family	
ducation	P

RESIDENTIAL DISTRICT: SETBACK & HEIGHT STANDARDS

The Guidelines, Standards, and Regulations of this Master Pian were written with the intent of complying with the City of Sheridan Gateway Ordinance (Ord. 2066) contained within the City of Sheridan Municipal Code. In regards to building setback (excluding required landscape buffers), height and density; this Master Pian shall take precedence over municipal code. In all other matters, development of the Wrench Ranch Mater Pian Phase Two shall be fully compliant with the City of Sheridan Municipal Code.

TABLE R-2
RESIDENTIAL SETBACK & HEIGHT STANDARDS

Location	Width/Height			
Building Setback				
I-90	50,			
Decker Road	50° 15°			
Local Internal Streets				
Side Yard—Within Planning Area	5*			
Rear	15°			
Height Limitations				
Principal Use (4 story Max.)	45'			

SITE PLANNING PRINCIPLES

- Site and orient buildings to concentrate and reinforce pedestrian activity along sidewalks and openspace.
- Provide safe and efficient vehicular parking while minimizing the negative visual impacts commonly associated with large paved areas. Developers are encouraged to provide pedestrian walkways and open space to convey pedestrians.

D. SITE PLANNING GUIDELINES

- 1. Estats Single Family Homes
- To provide high quality housing opportunities for large single
- for provide high quality housing opportunities for large single family residential lots for the development of custom and semi-custom homes in a planed housing development. The architectural design of the Estate Single Family homes shall be high quality and shall compliment the architecture of surrounding homes.

 Uses allowed by right:
 Single family dwellings, with attached or detached cargoes
- garages.

- garages.

 2. Gross density shall be 1 unit per acre maximum.

 3. Home occupations, as defined by City of Sheridan code.

 2. Uses allowed by special review: Other uses may be allowed during the platting process.

 3. Parking will occur on each lot, or on—street as allowed by City
- code. Parking will be accommodated with minimum two car garages for each home. Guest parking will occur on-street as allowed by City code.

E. SITE PLANNING GUIDELINES

- 1. Single Family Detached Homes
- To provide high quality housing opportunities for single family residential lots for the development of detached single family homes.
- The architecture of the single family homes shall be high quality and shall compliment the architecture of surrounding
- homes. Uses allowed by right: Single family dwellings, with attached or detached
- garages.

 Gross density shall be 5 units per acre maximum.

 Home occupations, as defined by City of Sheridan code.

 Uses allowed by special review: Other uses may be
 allowed during the platting process.
- Parking will occur on each lot, or on-street as allowed by City code. Parking will be accommodated with minimum two car garages for each home. Guest parking will occur on-street as allowed by City code.

SITE PLANNING GUIDELINES

- 1. Single Family Attached Homes
- To provide high quality housing opportunities for single family residential lots for the development of attached single family homes.
- The architecture of the single family homes shall be high quality and shall compliment the architecture of surrounding homes.
- Uses allowed by right: Single family attached dwellings, with attached or

- Single family attached awaiings, with attached or detached garages.

 Gross density shall be 8 units per acre maximum.

 Buildings may have up to 6 units per building.

 Uses allowed by special review: Other uses may be allowed during the platting process.

 Parking for residential units occur on each lot, within the particle of the parking has a report of a allowed. by City code. Guest parking will occur on-street as allowed by City code. Guest parking will occur on-street as allowed by City code. Parking will be accommodated with attached or detached, one or two car garages for each

SITE PLANNING GUIDELINES

- Affordable Housing
- To provide high quality housing opportunities for the development of affordable housing.
- The architecture of affordable housing shall be high quality and shall compliment the architecture of surrounding
- homes and the City of Sheridan.
- Uses allowed by right: Single family dwellings, with attached or detached
- garages.
 Single family attached dwellings, with attached or detached garages.
 Gross density shall be 8 units per acre gross, maximum Buildings may have up to 6 units per building.
 Factory built homes.

- Uses allowed by special review: Other uses may be allowed
- Uses allowed by special review: Other uses may be allowed during the platting process. Parking for residential units occur on each lot, within the boundaries of the site in parking lots, or on—street as allowed by City code. Guest parking will occur on—street as allowed by City code. Parking will be accommodated with attached or detached, one or two car garages for each unit or parking may also be off—street within garages and will be visually separated from public streets by a combination of berms, landscaping, setbacks or by other means per the individual site as approved by the City.

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MASTER PLAN PHASE TWO WRENCH RANCH PROPERTIES

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- SITE PLANNING GUIDELINES
- 1. Multi-Family Housing
- To provide high quality housing opportunities for residential
- lo provide high quality housing opportunities for residential lots for the development of mulit-family / apartment housing. The architecture of mulit-family housing shall be high quality and shall compilment the architecture of surrounding homes and the City of Sheridan.

 Uses allowed by right:

 Single family dwellings, with attached or detached
- garages. Gross density shall be 20 units per acre gross, maximum

- maximum

 Buildings may have up to 12 units per building.
 Factory built homes on permanent foundations.

 Uses allowed by special review: Other uses may be allowed during the platting process.

 Parking for residential units occur on each lot, within the boundaries of the site in parking lots, or on—street as allowed by City code. Guest parking will occur on—street as allowed by City code. Parking will be accommodated with attached or detached, one or two car garages for each unit or parking may also be off—street within garages and will be visually separated from public streets by a combination of berms, landscaping, setbacks or by other means per the individual site as approved by the City.

SITE PLANNING GUIDELINES

1. Education

- a. To provide a location for the establishment of a future
- The architecture shall be high quality and shall compliment the architecture of surrounding homes and the City of b.
- Uses allowed by right:

 1. To be determined by Sheridan School District Two.

 2. Any use associated with a School.
- Uses allowed by special review: Other uses may be allowed during the platting process.

 Parking shall occur within the boundaries of the site in parking lots, or on-street as allowed by City code. Guest parking will occur in designated parking lots and on-street as allowed by City code.

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Prepared By: **WOOD GROUP** Client JOHN E. RICE & SONS, INC WRENCH RANCH PROPERTIES DBA WRENCH RANCH **MASTER PLAN - PHASE TWO** 247 DECKER ROAD **RESIDENTIAL PRINCIPLES** SHERIDAN, WYOMING 82801 **GUIDELINES & STANDARDS** Wood Group PSN - Northern Business Unit 2615 Aviation Drive, Sheridan, WY 82801 Drawn: Checked: Design: Survey: DLH (307) 675-6400 www.woodgroup.com DLH WEP Х Client Contact: Date: Scale: Project No.: Task No.: Sheet: Rev.: 4/15/2015 As Shown 741376 OFFICE LABOR 0 LU-6

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INTRODUCTION A.

Open Space

The parks and open space within the Wrench Ranch Phase Two Master Plan will service residents and daytime users with active and passive recreational uses and amenities. The open space will include trails, native open space, habitat and riparian preservation corridors. The final trail locations will be linked into the existing Goose Creek Trail and also provide links to future trail locations. Trails and pedestrian sidewalks are to be located within landscape buffers, street rights of way, parks and open spaces. All open space uses shall be accessible to the general public, except in cases where they preserve sensitive habitat, and the land is permanently maintained in a natural state.

Open Space Requirement:

Open Space Requirement:

17% of the site is to be preserved and dedicated as public and/or private open space and is to be in compliance with the standards set forth in the City of Sheridan Municipal Code Gateway Ordinance. Open space areas must be configured with no dimension less than one hundred feet. Limited exceptions to this rule may be made, for example, for trail connections or for landscaping buffers. Areas occupied by drainage channels, draws, cliffs, and land areas with grades in excess of six percent shall not compromise more than fifty percent of the open space area.

Special Uses

Special development standards related to the Open Space/Parks District include the following:

All recreational and developed trails accessible to the public are to be owned, operated, maintained and controlled by the City of Sheridan.

<u>Trail Access to Public Parks/Open Space Areas</u>
Parks/Open Space Areas will be owned and maintained by the City of Sheridan.

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Rev.	Date	Description	Ву	Proj. Engr.	Client Repr.	Rev. Request

MASTER PLAN PHASE TWO WRENCH RANCH PROPERTIES

Client

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WOOD GROUP WRENCH RANCH PROPERTIES Prepared By: Client: JOHN E. RICE & SONS, INC MASTER PLAN - PHASE TWO DBA WRENCH RANCH OPEN SPACE PRINCIPLES, 247 DECKER ROAD **GUIDELINES & STANDARDS** SHERIDAN, WYOMING 82801 SHERIDAN, WYOMING Wood Group PSN - Northern Business Unit 2615 Aviation Drive, Sheridan, WY 82801 Drawn: Design: Checked: Survey: WEP DLH DLH X (307) 675-6400 www.woodgroup.com Client Contact: Scale: Project No.: Task No.: Sheet: Rev.: Date: OFFICE LABOR 4/15/2015 As Shown 741376 L-1 0

A. INTRODUCTION

Landscape Guidelines

The following is a summary of the Landscape Design Guidelines for the Wronch Ranch Phase Two Master Plan. Please disc refer to the adopted Gateway Ordinance No. 2056 and the City of Sheridan Municipal Code.

In any case where there is discrepancy between the landscaping guidelines contained within this master plan and Sharidam City Cade, the stricter requirement shall govern, except in the case of a contradictory requirement, in which case Sharidam City Cade shall govern.

2. Landscaping Goals

These design guidelines were prepared with several goals including:

- Provide landscape Guidelines for the Wrench Ranch Annexations: Phase one and to ide future development.

 Mide future development.

 Mide landacupe setbacics and standards for Light Industrial, Mixed Use and cial land uses.
- guide future devi Provide landscap
- imercial land uses.

 Minimize water use and promote the use of native and adapted plant materials.

 Provide year-round color and interest.

 Provide a consistent landscape treatment for adjacent streetscapes

- f. Minimize long-term maintenance.
 g. Provide conformance with the visual character and design guidelines of the
- R. GENERAL LANDSCAPE DEVELOPMENT GUIDLELINES
- 1. Purpose and Intent
- Signed, approved grading plans/permits and all ereston control measures in place are to be submitted for review, prior to contineors.

 Site visibility brangings shall be used at all access intersections for public safety and welfare per the City of Steritan's Municipal Code.

 A plant points that includes native and/or hardy adapted species will be used. All species will grouped according to water requirements.

 Only irrigation will be used for all parking lot Islands, planting beds and perimeter plant materials.

 In tripostate that the state of the stat

- plant materials.

 o. Irrigated turf shall be a drought-tolerant turf-type.

 O. All nettre seed grasses will reactive a temporary or permanent Irrigation system.

 G. Soil proporation for all indiscape areas shall include 3 inches of organic soil amendments sureed over the top of topsoil and then rotatiled in to a depth of 6—9 inches. Soil amendments to be rated Gass II or greater. If sait conditions exist, only Gass I soil amendments shall be accepted.

 h. All trees will reactive a 24 inch diameter source of shreaded bank mulch, 4" deep.

 All shrub and personals based will also receive shreaded codar bank mulch.

 L. A rolled top steel edge shall be placed between all shrub/personals beds and turf areas, as well as between native grasses and Irrigated grasses.

2. Plan Requirements

Format future landscape pions to a 24x38 or greater page size, unless local codes dictate otherwise. Provide a north arrow and bur scale. Show all utility lines, easements, sight triangles and parking lat lighting on landscape plans. Provide provisions on the plan for long term maintenance of all landscaped areas, including buffers as cutilined in Section L.

C. LANDSCAPE REQUIREMENTS

1. Street Tree Requirements

Street Tree Types: Evergreen Requirement: Parking Lot Screening: See recommended Planting List

See recommended Frankly List.

The required denig commended/retail frontage white:

Per detail sheet and/or City of Sheridan Municipal Code Provide large desiduous trees with a minimum 1.5" caliper, branched to a minimum of 6" height adjacent to all public sidewalks.

Parking Lot Screening:

Per detail sheet and/or City of Sheridan Municipal Code Provide large deciduous trees with a minimum 1.5" callper, branched to a minimum of 6" height adjacent to all public sidewalks.

1 tree/100 Lf.

Street Tree Types: Evergreen Requirement:

1 tree/100 Lf.
See recommended Planting List
75% evergreen required along industrial parcels and 50% along mixed
use parcels. No evergreen use/percentage is required along
commercial or retail frontuge
Per detail sheet ons/or City of Sheridan Municipal Code

Parking Lot Screening:

Provide large deciduous trees with a minimum 1.5" caliper, branched to a minimum of 6" height adjacent to all public sidewelks.

D. LANDSCAPE BUFFERS SETBACKS

Unless specified or decided on otherwise, front yard landscape buffers are measured from the right—of—way. If right—of—way is not applicable, it shall be measured from the property line. Rear and side yard landscape buffers are measured inward from the property line.

Datalla: As measured from the read right-of-way

Additional Landscape Requirements: 1 Tree/100'; 75% evergreen, for front yard (unless covered by roadway requirements), cul-de-sea frontage and for lats adjacent to mixed use and commercial properties. No tree requirement for side and rear buffers for lots adjacent to industrial properties or open space.

Parking Lot Screening: Per detail sheet and/or City of Sheridan Municipal Code

Notes: Provide large deciduous trees with a minimum 1.5° caliper, branched to a minimum of 6' height adjacent to all public sidewalks.

<u>Commercial:</u> 15' front, side^a and rear^a yard landscape buffer satback (*Side and rear satbacks not required when adjacent to a shared drive isle or parking lat. In that case, side and rear satback to equal zero (0).)

Details: As measured from the road right-of-way. 15' landscape buffer required along the front, side and rear.

Perking Lot Screening: Per detail sheet and/or City of Sheridan Municipal Code

Notes: Provide large deciduous trees with a minimum 1.5" caliper, branched to a minimum of 6' height adjacent to all public sidewalks.

Mixed Use: 15'-25's front, 15' rear and 5' side yard landscape buffer setback (*Match landscape buffer for to building setback - see architectural requirements.)

Street Tree Types: See recommended Planting List
Additional Landscape Requirements: 1 Tree/100'. (50% evergreen, except for commercial and
retail uses). Tree requirements applicable for front and rear buffers (unless covered by roadway
requirements for unless a property line falls with a private drive)

Parking Lot Screening: Per detail sheet and/or City of Sheridan Municipal Code

Notes: Provide large deciduous trees branched to a minimum of 8° height adjacent to all public sidewalks.

E. INTERNAL LANDSCAPING

Commercial: SX
Details: 5X internal landscape area square footage required, excluding the area calculated for the buffer square footage (see section D above)

Mixed Use: 5%
Datails: 5% internal landscape area square footage required, excluding the area calculated for the buffer square footage (see section D above)

- F. PARKING LOT LANDSCAPING & SCREENING
- Parking Lat Screening is required for all parking facing an adjacent roadway or property a. lina.
- line.

 b. Parking Lot Screening shall consist of 60% evergreen and/or other screening structure in the form of a screen wall or berm/planting combination.

 c. Single parking lot islands to receive a minimum of 1 tree/6 shrubs per island and double parking lot islands to receive a minimum of 2 trees/12 shrubs per island.

 Storage yards in industrial parcels are exampt from parking lot island tree and shrub
- requirements

G. GROUND PLAIN TREATMENTS

Living ground plain treatments (low water variety sods, seed mixes, ground covers) are encouraged, however organic mulches and aggregates are acceptable.

When organic mulches and aggregates are used, it is recommended living ground covers and planting materials cover mulches and aggregates to a 50% coverage; materials shown at mature planting materials cover mulches and aggregates we assess shall be selected to match size.

Organic mulches need to be fibrous and wind resistant. Aggregates shall be selected to match building covers and size of aggregates shall be coordinated between sites.

Recommended Seed Mixes (Other mixes may be suggested and reviewed)

Seed Blends: Pure Live Seed Only

Low Grow Prairie Grass Mix Ephraim Crested Wheatgreass Perannial Ryegrass Canada Bluegrass Chewings Fescue

Rate: 30 Bik. Lbs/acre (PLS) - Irrigated

Tallgrass Prairie Big blustem Little bluestem Switchgrass Sidscats grama

Rate: 30 Blk. Lbs/acre (PLS) - Irrigated

Wetland Mix (For use in detention and riparian creas)
Reed Canarygress 45%
Meadow Brome 25%
Garrison Foxtall 20% Reed Canarygrass
Meadow Brome
Garrison Foxtall
Climax Timothy
Add — Tall Larkspur

Rate: 30 Bik. Lbs/acre (PLS)



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To cableve a uniform appearance and to reduce conflict, it is encouraged that one includescape areas thus includescape areas thus the control to a c

Private landscaping (including all landscaping on a private landscaping (including all landscaping on a private property earner or association entity, exerciments) and to association entity including an energy can are the activity or condition by the cener. This shall include pruning, moving of learne, associng, removated if the rance. This shall include pruning, moving private land alle, the removated of the ceneral shall be responsible for the replacement of the plant(s) or includence centractor. Shall be responsible for the replacement of the plant(s) or tradector entities and replacement shall be the constitution of the plant(s) or conserver and replacement shall be the owner's responsibility thereafter.

Public ignoscoping (including street medians, public right—of—way and other public entity, dedicated tracts) and it is now an included by the applicable public entity.

MAINTENANCE

if an applicant needs to deviate from the adopted landscape design standards, the applicant shall provide on their company is interior of an attendance compliance request. The request shall include the adopted landscape standard, the deviated an proposed standard, the deviated on proposed standard and justification of the deviation request. The reversities porty proposed standard and justification of the deviation of the application request.

IC VELEGIANATIVE COMPLIANCE

Provide on irrigation plen and install irrigation components per City of Sharidan Municipal Code requirements. Refer to site specific geohozard report of irrigation sectocis requirements from building foundations.

Provide subsurface drip infigation extending to all hanging baskets, ornamental pots and all trees located in native see areas.

For moximum efficiency and reduction of infigution acter use, it is recommended to moximum efficiency and reduction of infiguries transplant Wenders Month for an established the infiguration to reduce greening seconds. Once plant extreme outside or extended in the infiguration of the catalished, it is benefited to experience and expensioned. White activities to the constitution of the infiguration of the production of the control of the

T RESERVICE

Florit moterials were selected to provide vertical interest and empiresia, teachure and second cotor. In addition, designers shall consider low maintenance, low works and the maintenance in the primary established, all take a unformer primary established, and the coupled to Wyoming. Plants shall be grouped exceeding to their size and water requirements for meadmum benefit. The use of local aggregates and landscape mulcines are encouraged.

I' PLANT MATERIALS & GROUND PLANE MATERIALS

.(complem/vog.obeusconnateriestem-frankpaww). Note: Additional Plant Materials may be approved per local agency documentation and from the Matural Resources Conservation Services

Cultivars of the above noted plant materials are acceptable. The use of Russian Olive and other invasive species will not be allowed. Wildflowers (Many vertoties)

Schizochylum ecoparium Little Bluestem

eldałqabA	Compute temilions
el do łqobA	Double Sheata Dalay Laucenthemum x spuerbum 'Aglaio'
oldożąnbA	Gemetis x jesimenii Purpis Clemetis
eldołqobA	PEREWINLS. Aquilegia casarisa Rocicy Whr. Columbins
Dry to Adaptable	Ekstuca glauca Blue Fescue

Dry to Adaptable

Silver Plumo Grass Adaptable

OSNANENTAL GRASSES (1 gallon min. planting size).
Calemegrastis acu. 'Karl Foereter'.
Feetiner Reed Grass

Dry to Adaptable

Prunus tenella Dwarf Russian Flowering Almond Dry to Adaptable

Potentilla fruticosa spp. Biry to Adaptable

Pervesia etripileifella Russian Sage Dry to Adaptable Rocky Men Juniper Dry to Adaptable Corum Rocky Mtn. Juniperus horizontalis spp Horizontal Juniper species eldaptabh of Vill Dry to Adaptable Comus stoionitera app. Rediwig Dogwood Species eldorqobA

Buddieja davidli namtoenisis "Petite Plum" Cempaat Purpie Bu*tte*rily Bush DIA to verdicens

tor tuit anno list piacas reference: ketural (www.plant-moteriala.usata.gov/mtpmc). dunis lating (es saitmain munimin molas (e) 28USIS O council for the procession of the counce of the counce of the counce of the council of t

> eldatqabA Dry to Adaptable

> Dry to Adaptable Dry to Adaptable

Pinny flowed Venderwolf Pyrumid Pyrumid Pyrumid Venderwolf Pinny nty to Addptable

 $^{+}$ At main Entry Locations Only — Praterably located in higher water use areas and outside of visibility triangles and carridore. Dwarf varieties are acceptable.

Dry to Adaptable

oldatqabA\vid

gine Sprace Piceo pungans

EVERCHEEN TREES (6' height min. planting size)

EVERCHEEN TREES (6' height min. planting size)

Pyrus calleryana Prairie Cem. Prairie Cem Peur eldatqabA Koelreuteria paniculata Galden Rain Tree eldprqpbA

Proiriffie Grabappie / Louisa Grabappie Maius species (1.5" celiper min. planting size)

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match

qruye

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TO MILIT

(For detention and riportun use) Solix olba Golden Russian Willow Holat Ash apecies Fernish app.

Adaptable Geditale triccontnos Honey Locust Dry/Adaptable [D Adoptable

eldatqabA\\yiQ Celtis occidentells* Yestem Haddony ĹΩ

Populus x acuminate Lanceleaf Cottonwood Adoptoble Populus x deltoides app. monilifera Pigins Cottonwood

Adeptable Populus balsamilier Black Cottonwood Adaptable belsamifora sap. trichocorpa Sorbus eltehensis Western Mountain Ash

Acer x freemanii 'Au Autumn Blaze Maple Adaptable Acer x freenanii Autumn Sikeet ikees (1.5° min. Toxis Bunubid

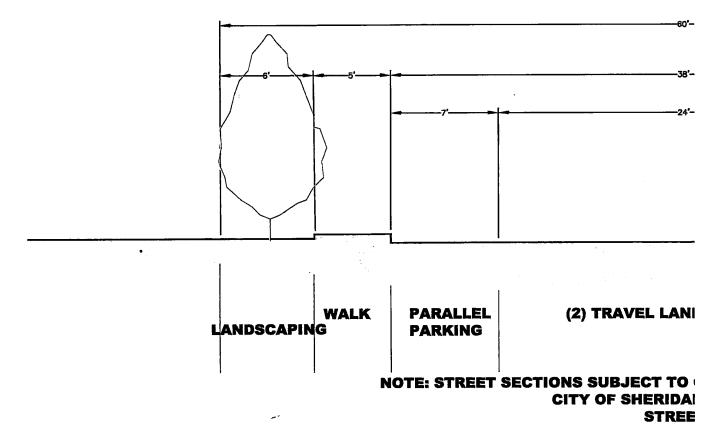
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H. RECOMMENDED PLANT MATERIALS

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MASTER PLAN
PHASE TWO
WRENCH RANCH PROPERTIES

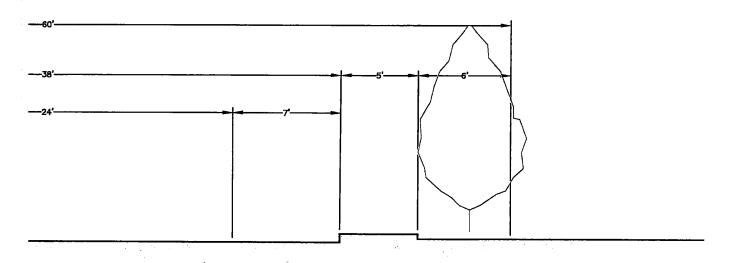
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2015-723597 11/30/2015 12:35 PM PAGE:**46** OF **46** BOOK: 556 PAGE: 764 FEES: \$147.00 PK AGREEMENT - LEGAL EDA SCHUNK THOMPSON, SHERIDAN COUNTY CLERK

NO. 2015-723597 AGREEMENT - LEGAL

EDA SCHUNK THOMPSON, SHERIDAN COUNTY CLERK CITY OF SHERIDAN - PLANNING P O BOX 848 SHERIDAN WY 82801



.ANES - 12'-0" EACH

PARALLEL PARKING

WALK LANDSCAPING

TO CHANGE TO MEET SPECIFIC WYDOT AND/OR IDAN STREET STANDARDS REET SECTION

WOUD GROUP PSN Wood Group PSN - Northern Business Unit			JOHN E. RICE & SONS, INC DBA WRENCH RANCH 247 DECKER ROAD SHERIDAN, WYOMING 82801					WRENCH RANCH PROPERTIES MASTER PLAN - PHASE TWO STREET SECTION, LANDSCAPE DETAIL & TRAIL DETAIL SHERIDAN, WYOMING		
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